



ACTIVITY DETERMINATION

Project No. BGX6L

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed..........

Name...**Emma Nicholson**.....

Dated.....22 December 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

3-5

Street or property name

Kelloway Avenue

Suburb, town or locality

Camden

Postcode

2570

Local Government Area(s)

Camden

Real property description (Lot and DP)

Lot 17 DP 219782 and Lot 18 DP 219782.

ACTIVITY DESCRIPTION

Provide a description of the activity

Consolidation of lots and construction of a 2 storey boarding house consisting of 12 new generation boarding house rooms, on-site parking for 3 cars, 1 motorbike and 4 bicycles, landscaping and tree removal.

Signed..........

Dated.....22 December 2023

Emma Nicholson
A/Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Note that the Landscape Plans prepared by *Place Design Group* have made an error in the title block for the revision date, as it is listed as “07/106/2023” and should read “07/06/2023”.

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Architectural Plans – Appendix A				
Coversheet	A000	01	8/12/2022	Sam Crawford Architects
Block Analysis Plan	A101	01	8/12/2022	Sam Crawford Architects
Site Analysis Plan	A102	01	8/12/2022	Sam Crawford Architects
Development Data	A104	01	8/12/2022	Sam Crawford Architects
Site Plan	A105	01	8/12/2022	Sam Crawford Architects
Ground Floor Plan	A106	01	8/12/2022	Sam Crawford Architects
First Floor Plan	A107	01	8/12/2022	Sam Crawford Architects
Roof Plan	A108	01	8/12/2022	Sam Crawford Architects
North Elevation (Street)	A201	01	8/12/2022	Sam Crawford Architects
South Elevation (Rear)	A202	01	8/12/2022	Sam Crawford Architects
East Elevation	A203	01	8/12/2022	Sam Crawford Architects
West Elevation	A204	01	8/12/2022	Sam Crawford Architects
Section (Long)	A301	01	8/12/2022	Sam Crawford Architects
Section (Cross 01)	A302	01	8/12/2022	Sam Crawford Architects
Section (Cross 02)	A303	01	8/12/2022	Sam Crawford Architects
Shadow Diagrams	A401	01	8/12/2022	Sam Crawford Architects
Solar Diagrams North West	A402	01	8/12/2022	Sam Crawford Architects
Solar Diagrams North East	A403	01	8/12/2022	Sam Crawford Architects
Solar Diagrams South West	A404	01	8/12/2022	Sam Crawford Architects
Solar Diagrams South West	A405	01	8/12/2022	Sam Crawford Architects
Material Schedule	A501	01	8/12/2022	Sam Crawford Architects
Photomontage	A601	01	8/12/2022	Sam Crawford Architects

Landscape Plans - Appendix B

Note: *Place Design Group* have made an error in the title block for the revision date, as it is listed as “07/106/2023”, and should read “07/06/2023”

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Extent of works	Page No.3	02	7/06/2023	Place Design Group Pty Ltd
Landscape Plan	Page No.4	02	7/06/2023	Place Design Group Pty Ltd
Fencing Strategy and Materials Schedule	Page No.5	02	7/06/2023	Place Design Group Pty Ltd
Materials Schedule	Page No.6	02	7/06/2023	Place Design Group Pty Ltd
Landscape Key Plan and Sections	Page No.7	02	7/06/2023	Place Design Group Pty Ltd
Planting Schedule	Page No.8	02	7/06/2023	Place Design Group Pty Ltd
Typical Landscape Details	Page No.9	02	7/06/2023	Place Design Group Pty Ltd
Civil Plans – Appendix C				
Civil Construction Notes	80822228-CI-0002	3	12/12/2022	Cardno Pty Ltd
Proposed Drainage Stormwater Ground Floor Plan	80822228-CI-0101	5	4/09/2023	Cardno Pty Ltd
Proposed Drainage Stormwater Pits and Grated Drains Schedule	80822228-CI-0102	4	31/08/2023	Cardno Pty Ltd
Cut and Fill Plan	80822228-CI-0111	1	12/12/2022	Cardno Pty Ltd
Sedimentation and Erosion Control Plan	80822228-CI-0121	3	12/12/2022	Cardno Pty Ltd
Stormwater Standard Details Sheet 1	80822228-CI-0201	3	12/12/2022	Cardno Pty Ltd
Stormwater Standard Details Sheet 2	80822228-CI-0202	2	12/12/2022	Cardno Pty Ltd
Sedimentation and Erosion Control Details	80822228-CI-0221	3	12/12/2022	Cardno Pty Ltd
Survey Plan – Appendix D				
Detail & Contour Survey	201805-2 SHT1	2	8/11/2022	Total Surveying Solutions
Detail & Contour Survey	201805 SHT1	-	30/10/2020	Total Surveying Solutions
Detail & Contour Survey	201805 SHT1	-	12/10/2020	Total Surveying Solutions
Notification Plans – Appendix E				
Cover Page	A801	01	8/12/2022	Sam Crawford Architects
Site/Landscape Plan	A802	01	8/12/2022	Sam Crawford Architects
Development Data	A803	01	8/12/2022	Sam Crawford Architects
Elevations	A804	01	8/12/2022	Sam Crawford Architects
Schedule of Finishes	A805	01	8/12/2022	Sam Crawford Architects
Shadow Diagrams	A806	01	8/12/2022	Sam Crawford Architects
Specialist Reports				
Access Review – Appendix H	-	05	05/05/2022	Morris Goding Access Consulting
Arboricultural Assessment and Tree Protection Plan – Appendix J	-	03	12/09/2022	Vertical Tree Management & Consultancy
BASIX Certificate – Appendix K	1295786M_02	-	28/04/2023	Northrop Consulting Engineers Pty Ltd
BCA Report – Appendix L	202241-01	D	24/04/2023	Mckenzie group

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
NatHERS Certificate – Appendix N	No.0008288610	-	11/12/2022	Northrop Consulting Engineers Pty Ltd
Character Statement – Appendix O	-	C	08/12/2022	Sam Crawford Architects
Geotechnical Investigation – Appendix P	9557/1-AA-R3	R3	02/08/2023	Geotech Testing Pty Ltd
Waste Management Plan – Appendix R	20165	-	00/12/2022	Dickens Solutions
Traffic and Parking Impact Assessment Report – Appendix S	80822228:HC	-	09/12/2022	Cardno Pty Ltd
Traffic Noise Impact Assessment – Appendix T	20220223	3	27/02/2023	Building Services Engineers
Soil Characterisation Report – Appendix U	3387	0	16/04/1963	ADE Consulting Group
Cost Estimate	MBM0579-0017	01	22/12/2023	MBM

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Camden Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing and layback shall be provided at the entrance/exit to the property. The crossing and layback shall be constructed in accordance with Camden Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any Council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with Camden Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. Camden Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved Landscape Plan and Arboricultural Assessment and Tree Protection Plan and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The

various service authorities shall be consulted regarding their requirements for the disconnection of services.

25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Utilities Service Provider Notification

26. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

27. Camden Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **5** working days notification shall be given.

Site Safety

28. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

29. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

30. No building materials are to be stored on the footpath or roadway.

Site Facilities

31. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Camden Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
32. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

33. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Assessment and Tree Protection Plan.

Waste Management

34. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

35. A compliance certificate, or other evidence, shall be obtained from the Sydney Water, confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

36. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
37. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

38. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

39. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Camden Council's drainage code.
40. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

DURING CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

41. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
42. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

43. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted.
44. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

Survey Reports

45. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the

dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

46. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

47. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

48. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
49. No fires shall be lit or waste materials burnt on the site.
50. No washing of concrete forms or trucks shall occur on the site.
51. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
52. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
53. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
54. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

55. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
56. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

57. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

58. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

59. The cost of repairing any damage caused to Camden Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

60. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Camden Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Camden Council.

PART B – Additional Identified Requirements

Requirements Resulting from Assessment

61. The material recommendations contained within the Traffic Noise Impact Assessment (listed in Identified Requirement 1 above) are to be shown in the detailed construction drawings.

Requirements Resulting from Council Comments

62. All Architectural, Landscape and Civil Plans are to be updated to reflect the 1m minimum clearance from the driveway to the stormwater street pit located at the street frontage consistent with the Site Plan (Plan No A105 Rev 01).

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.



Decision Statement

Project No. BGX6L

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No.

3-5

Street or property name

Kelloway Avenue

Suburb, town or locality

Camden

Postcode

2570

Local Government Area(s)

Camden

Real property description (Lot and DP)

Lot 17 DP 219782 and Lot 18 DP 219782.

ACTIVITY DESCRIPTION

Provide a description of the activity

Consolidation of lots and construction of a 2 storey boarding house consisting of 12 new generation boarding house rooms, on-site parking for 3 cars, 1 motorbike and 4 bicycles, landscaping and tree removal.

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Camden Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social

benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 7. All mitigation measures are detailed within the Activity Determination and have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated..... 22 December 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation
Department of Planning & Environment

KELLOWAY AVENUE PERSPECTIVE



LOCATION PLAN (N.T.S.)



BASIX CERTIFICATION



All recommendations in the Access Report (by MGAC dated 9 Feb 2023), BCA report (by Mckenzie Group dated 9 Feb 2023), and Traffic Noise Impact Assessment (by BSE dated 6 April 2023) report are to be complied with.

CONSULTANTS LIST

ARCHITECT	Sam Crawford Architects Unit 4, 30 Wilson Street, Newtown 2042 P 02 9519 6800
ACCESS CONSULTANT	Morris Goding Access Consulting Suite 106, 56 Bowman Street, Pyrmont 2009 P 02 9692 9322
BCA CONSULTANT	McKenzie Group Consulting 197/189 Kent St, Sydney 2000 P 02 8298 6800
CIVIL ENGINEER	Cardno Level 9, 203 Pacific Highway, St Leonards 2065 P 02 9496 7700
LANDSCAPE ARCHITECT	Place Design Group 3b/830-832 Elizabeth St, Waterloo 2017 P 02 9290 3300
ELECTRICAL, FIRE, HYDRAULIC, MECHANICAL, STRUCTURAL & SUSTAINABILITY	Northrop Consulting Engineers Level 1, 215 Pacific Highway Charlestown NSW P 02 4943 1777
TRAFFIC ENGINEER	Cardno Level 9, 203 Pacific Highway, St Leonards 2065 P 02 9496 7700
ACCOUSTIC ENGINEER	BSE Level 2, 121 Walker Street, North Sydney 2060 P 02 9922 5200
ARBORIST	Anderson Environmental Suite 19, 103 George Street, Parramatta 2150 P 1300 302 507
WASTE MANAGEMENT CONSULTANT	Dickens Solutions 1214 Botany Road, Botany, 2019 P 0400 388 996

PART 5 ACTIVITY, PROPOSED BOARDING HOUSE, BGX6L

3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY LOT 17 DP 219782, LOT 18 DP 219782,

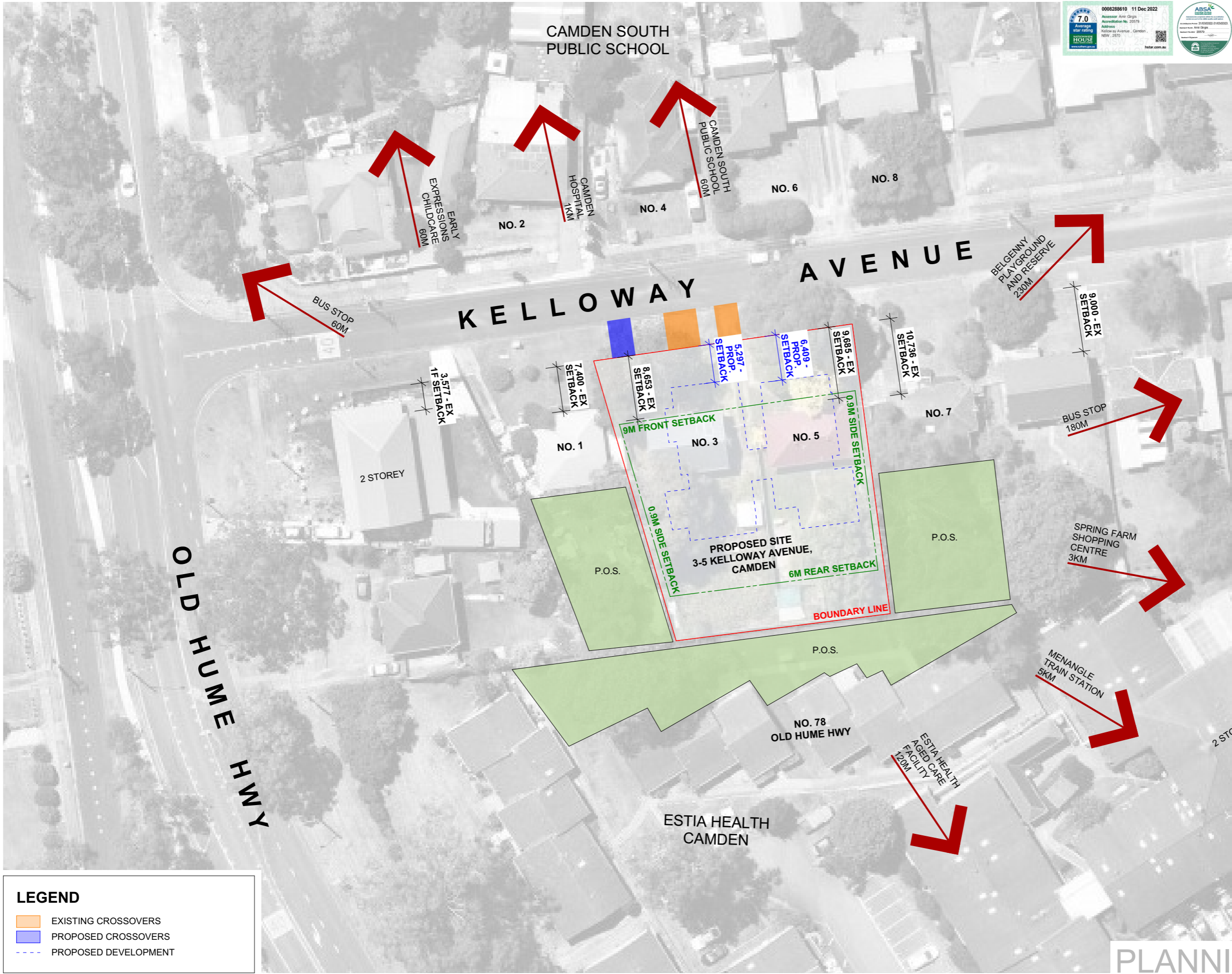
FOR LAND & HOUSING CORPORATION (LAHC)

PLANNING APPROVAL: DRAWING LIST

000 COVER PAGE		
A000	COVER PAGE	N.T.S.
100 PLANS		
A101	BLOCK ANALYSIS PLAN	N.T.S.
A102	SITE ANALYSIS PLAN	1:200
A104	DEVELOPMENT DATA	N.T.S.
A105	SITE PLAN	1:200
A106	GROUND FLOOR PLAN	1:100
A107	FIRST FLOOR PLAN	1:100
A108	ROOF PLAN	1:100
A200 ELEVATIONS		
A201	NORTH ELEVATION (STREET)	1:100
A202	SOUTH ELEVATION (REAR)	1:100
A203	EAST ELEVATION	1:100
A204	WEST ELEVATION	1:100
A300 SECTIONS		
A301	SECTION (LONG)	1:100
A302	SECTION (CROSS 01)	1:100
A303	SECTION (CROSS 02)	1:100
A400 SHADOW DIAGRAMS		
A401	SHADOW DIAGRAMS	1:500
A402	SOLAR DIAGRAMS NORTH WEST	N.T.S.
A403	SOLAR DIAGRAMS NORTH EAST	N.T.S.
A404	SOLAR DIAGRAMS SOUTH WEST	N.T.S.
A405	SOLAR DIAGRAMS SOUTH EAST	N.T.S.
A500 MATERIALS		
A501	MATERIAL SCHEDULE	N.T.S.
A600 PHOTOMONTAGE		
A601	PHOTOMONTAGE	N.T.S.

Please refer to Page 2 for BASIX pathway summary

PLANNING APPROVAL



Level 11, 345 George Street
Sydney NSW 2000
02 9241 4188
sydney@northrop.com.au
ABN 81 094 433 100

22 December 2023

12.12.2022
Ref: SY202866-SEL01-1
Sam Crawford Architects
Unit 4/30 Wilson St.,
Newtown
NSW 2042

Dear Shane,

Re: 3-5 Kelloway Ave, Camden (LAHC) - BASIX / NatHERS Final Pathway Summary

1. BASIX / NatHERS Preliminary Pathway
The following summary is the Final review for the BASIX / NatHERS pathway based on the documents provided for architectural and building services design (Part 5 Submission Rev-01) on 08.12.2022 by Sam Crawford Architects. The project is targeting 7-Star NatHERS rating and the following considerations have been done accordingly.

1.1 Water Efficiency
Water score required: 40%
Current score: 40%

- Common Facilities:
 - 2000L RW Tank to collect rainwater from at least 380m² of roof space to supply irrigation to at least 420m² of common landscape and 20m² of private landscape and provide recycled water to Toilets in dwellings.
 - Kitchen Taps & Bathroom Taps: 5-star WELS rated in Communal Indoor Area
- Dwellings:
 - Showerheads: 4-star WELS rated (>4.5 but <=6 L/min)
 - Kitchen Taps & Bathroom Taps: 5-star WELS rated
 - Toilets: 4-star WELS rated
 - Clothes Washers: not specified
 - Dishwashers: not specified
 - No on-demand HW recirculation or diversion

1.2 Energy Efficiency
Energy score required: 45%
Current score: 45%

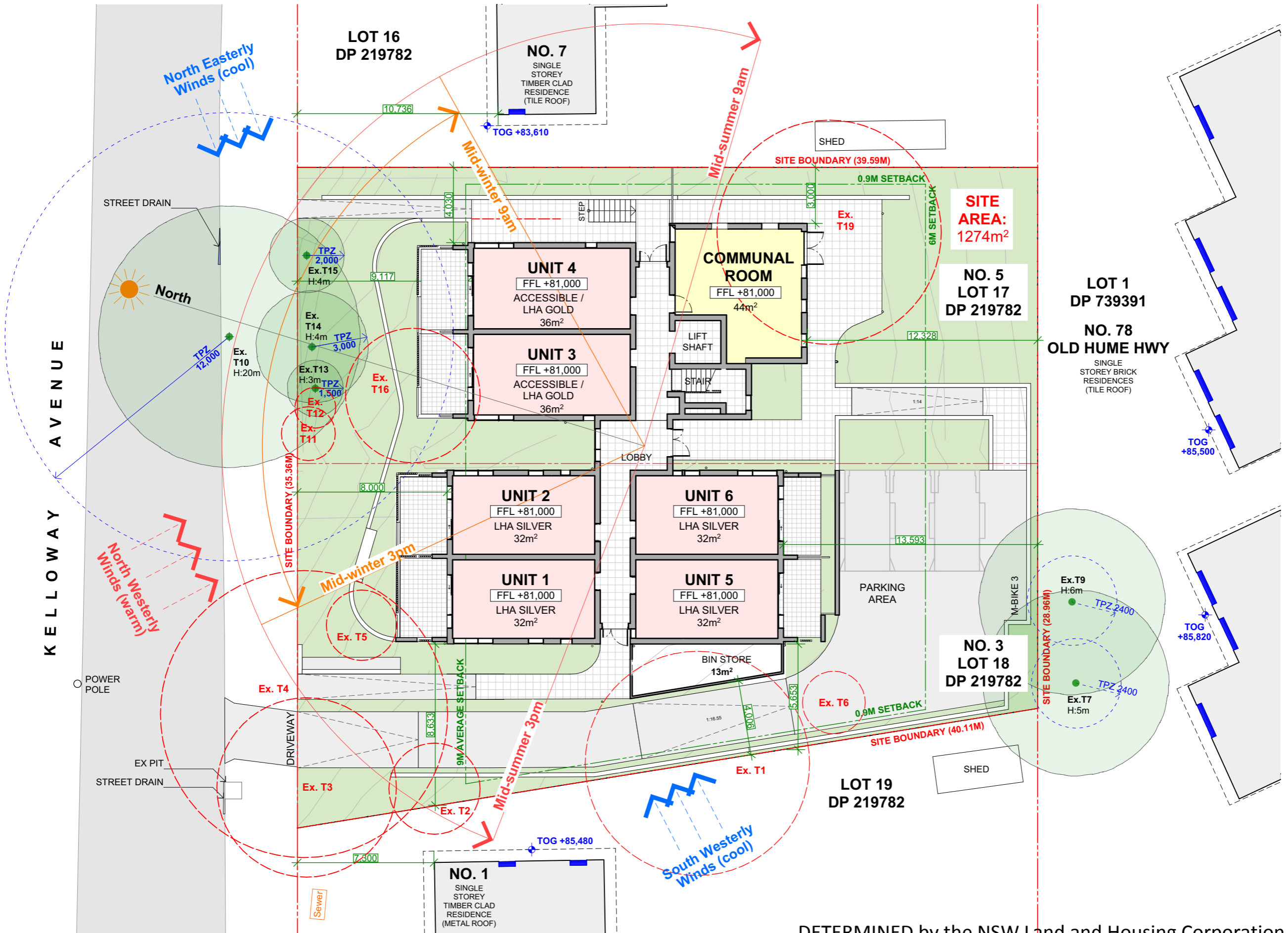
- Common Facilities:
 - Central Solar PV system: 3.0 kW peak
 - No Central hot water systems
 - No Central heating / Cooling systems
 - No common area clothes dryers or drying lines
 - No mechanical ventilation for common lobby on Ground and First Floor, Communal Room and Garbage rooms
 - LED lights with manual switch on/off for Common Lobby on Ground and First Floor, Communal Room and Garbage rooms.
- Dwellings:
 - 5-Star Gas Instantaneous Hot Water System for individual dwellings
 - No Mechanical ventilation (i.e. natural ventilation) for bathroom for all units
 - Individual fan ducted to roof or facade exhausts for laundry, and kitchen for all units.
 - All Bathroom, Laundry, Kitchen exhausts are controlled by manual switch on/off.
 - No individual Cooling systems
 - No individual Heating systems
 - Dedicated fluorescent or LED fittings for all internal rooms.
 - Electric cooktop and electric oven.
 - Dishwasher: not specified
 - Clothes Washer: not specified
 - Refrigerator and Clothes Dryer not specified.
 - Well Ventilated Fridge Space (as per plans).
 - Private Outdoor Clothing line for Units 1-6
 - Indoor or sheltered clothes drying line (e.g. screened line on balcony or line over bath) for Units 7-12.

1.3 Thermal Comfort
Score required: Pass
Current score: Pass

External Walls	Ground Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies First Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies
External Wall Solar absorbance	0.85 (R1-01 – Black and Tan Brick) – Units External Walls 0.50 (R1-02 – Botanicals Juniper) – Lobby External Walls
Internal Partitions	Lightweight Construction – Plasterboard Stud Cavity Wall, No Insulation
Party Walls – walls to risers, shafts, neighbors	Ground, First Floor: Double Brick Cavity, no insulation, plasterboard
Walls to naturally ventilated corridors	Ground, First Floor: Double Brick Cavity, no insulation, plasterboard
Ceiling to Roof (ceiling to balcony)	Plasterboard, R4.0 bulk insulation
Roof construction	Corrugated iron, No insulation, Skillion roof
Roof Solar absorbance	Solar Absorbance – 0.3 (light grey)
Floor construction	Concrete Slab
Floor coverings	Ceramic / Cork Tiles in units Ceramic Tiles in Toilets
Window system performance	Awnings, Casement - U-Value of 4.8 and SHGC of 0.51 Breezeway Louvered Glazing - U-Value of 4.3 and SHGC of 0.61 Sliding, Fixed, - U-Value of 4.5 and SHGC of 0.61 • Window operability according to the plans. • Single Pane Awning, Casement windows on the ground floor have been modeled to 90% openness. • Glazed sliding doors and Double Hung windows on the ground floor have been modeled to 90% openness • All Louvered Windows have been modeled to 90% openness • Operable windows above 2m off the ground and not next to balconies or winter garden have been modeled to have a 10% openness in the models.
Window operability	
Ceiling Penetrations	Surface mounted LED lights. Weather seals for all exhausts and vents have been assumed in all models.

LEGEND

- EXISTING CROSSOVERS
- PROPOSED CROSSOVERS
- PROPOSED DEVELOPMENT



KEY + LEGEND

- | | |
|-----|-----------------------|
| AC | AIR CONDITIONER UNIT |
| BAL | BALUSTRADE |
| BR | BRICK |
| CL | BROOM CUPBOARD |
| DP | CLOTHESLINE |
| EG | DOWNPIPE |
| F | EAVES GUTTER |
| FC | FRIDGE |
| FCL | FIBRE CEMENT CLADDING |
| FFL | FINISHED FLOOR LEVEL |
| FIP | FIRE INDICATOR PANEL |
| FN | FENCING |
| GD | GRATED DRAIN |
| GM | GAS METER |
| HWU | HOT WATER UNIT |
| LY | LAUNDRY |
| LI | LINEN CUPBOARD |
| MS | MESH SCREENING |
| MSB | MAIN SWITCH BOARD |
| NBN | NBN CUPBOARD |
| NGL | NATURAL GROUND LEVEL |
| O | OVEN |
| OSD | ON SITE DETENTION |
| P | PANTRY |
| POS | PRIVATE OPEN SPACE |
| TOW | TOP OF WALL |
| R | ROBE |
| RL | REDUCED LEVEL |
| RF | ROOFING |
| RW | RETAINING WALL |
| RWT | RAIN WATER TANK |
| SWP | STORM WATER PIT |
| WM | WATER METER |

- | | |
|-----|------------|
| --- | BOUNDARY |
| --- | SETBACKS |
| --- | DEMOLITION |

22 December 2023

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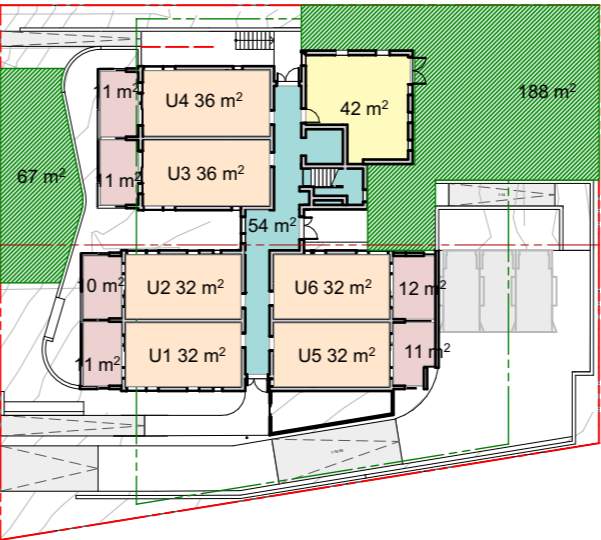
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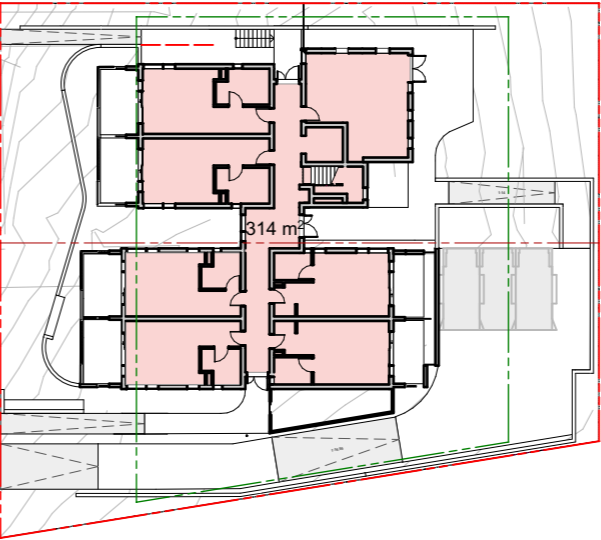

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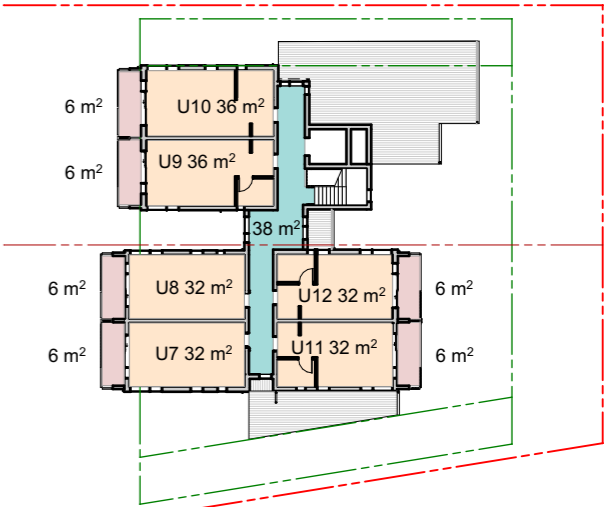
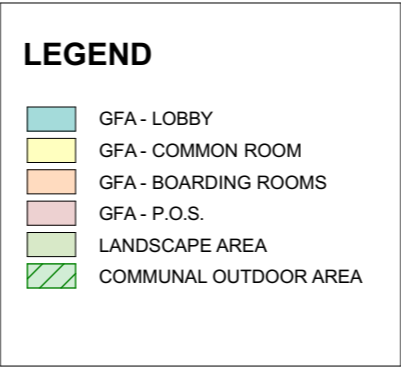
DEVELOPMENT DATA BOARDING HOUSE PART 5 APPROVAL PATHWAY – SH SEPP s.29									
Job Reference	BGX6L								
Locality / Suburb	Camden								
Street Address	3-5 Kelloway Avenue								
Lot Number(s) & Deposited Plan	Lots 17 & 18 in DP 219782								
SITE AREA (sqm)	1274 (survey)								
NUMBER OF EXISTING LOTS	2								
PROPOSED GFA* (sqm)	567sqm								
ACCESSIBLE AREA	Yes								
ROOMS	Number	Type*	No of Residents <i>Housing SEPP Cl. 25(1)(b) = Max. 2</i>	Area*(m ²)		POS <i>*No specified min. areas r/qd under Housing SEPP</i>			
				Required room size (excl. wet areas) <i>Housing SEPP Cl. 25(1)(a) & (h) = Min 12m²/16m² - Max 25m² excl. area for kitchen or bathroom</i>	Total Area (incl. kitchen & bathroom areas)				
	1	ground	1	20	32	8	11		
	2	ground	1	20	32	8	10		
	3 (Accessible)	ground	1	23	36	8	11		
	4 (Accessible)	ground	1	23	36	8	11		
	5	ground	1	20	32	8	11		
	6	ground	1	20	32	8	12		
	7	1st	1	20	32	8	6		
	8	1st	1	20	32	8	6		
	9	1st	1	24	36	8	6		
	10	1st	1	24	36	8	6		
	11	1st	1	20	32	8	6		
	12	1st	1	20	32	8	6		
		Control		Requirement		Proposed			
BUILDING HEIGHT	Housing SEPP			9m			8.8 m		
	Camden LEP			9.5m			8.8m		
FSR	Housing SEPP Cl. 24(2)(b) - Camden LEP/DCP			Not adopted no maximum under LEP or DCP			567 GFA 0.45:1		
MIN. LOT SIZE	Housing SEPP Cl. 25(1)(g)(i)			600m ²			1274 m ² (survey)		
MAX. NO. ROOMS	Housing SEPP Cl. 25(1)(d)			Max. 12 rooms in R2 zone			12 rooms		
CAR PARKING	Housing SEPP Cl. 24(2)(i) <i>*DCP rate for BH is as per ARH SEPP</i>	Accessible		12 x 0.2 = (2.4) 3 car spaces			3 spaces		
MOTORCYCLE PARKING	Housing SEPP Cl. 25(1)(j)			Adequate bicycle and motorcycle parking spaces			1 Motorcycle space		
BICYCLE PARKING	Housing SEPP Cl. 25(1)(j)			Adequate bicycle and motorcycle parking spaces			4 Bicycle spaces		
MIN. SETBACKS	Housing SEPP Cl. 25(2)(b) = Camden DCP 2019 Part 4.6 MDH Table 4-7	Front Setback		4.5m Or in established areas avg. of 2 closest dwellings adjoining site <i>*site analysis will be required to demonstrate.</i>			9.0m average Western Block: 8m Eastern Block: 9.1m		
		Side Setback		Ground floor: 0.9m Upper floor: 4m			4m Eastern Bdy 5.5m Western Bdy		
		Rear Setback		Ground floor: 4m Upper floor: 6m			13.5m (ground) 12m (1st floor)		
COMMUNAL LIVING AREA	Housing SEPP Cl. 25(1)(f) Housing SEPP Cl. 24(2)(g)		1 Communal living area required Min. 30m ² + 12m ² per room in excess of 6 rooms Based on 12 rooms= 30m ² + 12m ² = total 42m ² Min. dimension 3m			42m ² Min. dimension of CLA is 3m – Complies			
COMMUNAL OPEN SPACE	Housing SEPP Cl. 24(2)(h)		Min. 20% of site area 20% x 1274 = 254.8m ² Min. dimension = 3m			255m2 Min. dimension of COS is 3m – Complies			
LANDSCAPED AREA	Housing SEPP Cl. 24(2)(c) - Camden DCP Parts 4.2.6 & 4.6		Min 30% of site 30% x 1274m ² = 382.2m ² Min dimension of landscaped area = 1.5m			388 m ² Min dimension = 1.5m			
			Min. 40% of front setback to be landscaped 40% x front setback area m ² = 124m ²			189 m ²			
DEEP SOIL	Housing SEPP Cl. 24(2)(c) - Camden DCP Part 4.6		No specified minimum			388 m ²			
SOLAR ACCESS	Housing SEPP Cl. 24(2)(e)		3 hours between 9am & 3pm 21 June to at least 1 communal living area			Complies CLA receives 3 hours direct solar access – Complies			
	No specific solar access r/qmt to rooms under Housing SEPP		Min. 70% of living rooms & private opens spaces receive a min 3hrs direct sunlight between 9am-3pm mid-winter			8/12 units comply			



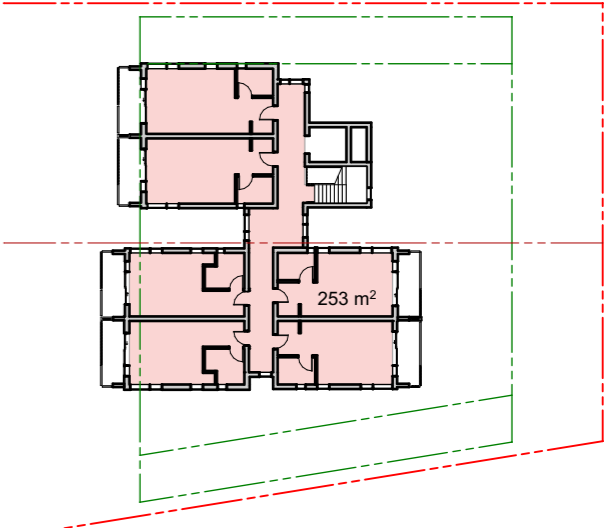
GROUND FLOOR PLAN



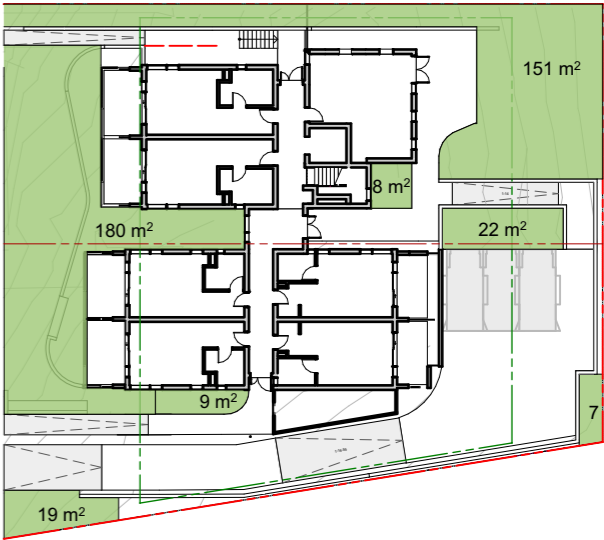
GROUND FLOOR PLAN



FIRST FLOOR PLAN



FIRST FLOOR PLAN



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KEY + LEGEND

AC	AIR CONDITIONER UNIT
BAL	BALUSTRADE
BK	BRICK
BR	BROOM CUPBOARD
CL	CLOTHESLINE
DP	DOWNPIPE
EG	EAVES GUTTER
F	FRIDGE
FC	FIBRE CEMENT CLADDING
FFL	FINISHED FLOOR LEVEL
FIP	FIRE INDICATOR PANEL
FN	FENCING
GD	GRATED DRAIN
GM	GAS METER
HWU	HOT WATER UNIT
LY	LAUNDRY
LI	LINEN CUPBOARD
MS	MESH SCREENING
MSB	MAIN SWITCH BOARD
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NGL	NATURAL GROUND LEVEL
O	OVEN
OSD	ON SITE DETENTION
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POS	PRIVATE OPEN SPACE
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RWT	RAIN WATER TANK
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WM	WATER METER

- BOUNDARY
- SETBACKS
- DEMOLITION

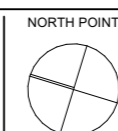
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	LOCKED BAG 5022 PARRAMATTAN NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation	DESCRIPTION Part 5 submission	REV 01	APP'D SC	DATE 08-Dec-22
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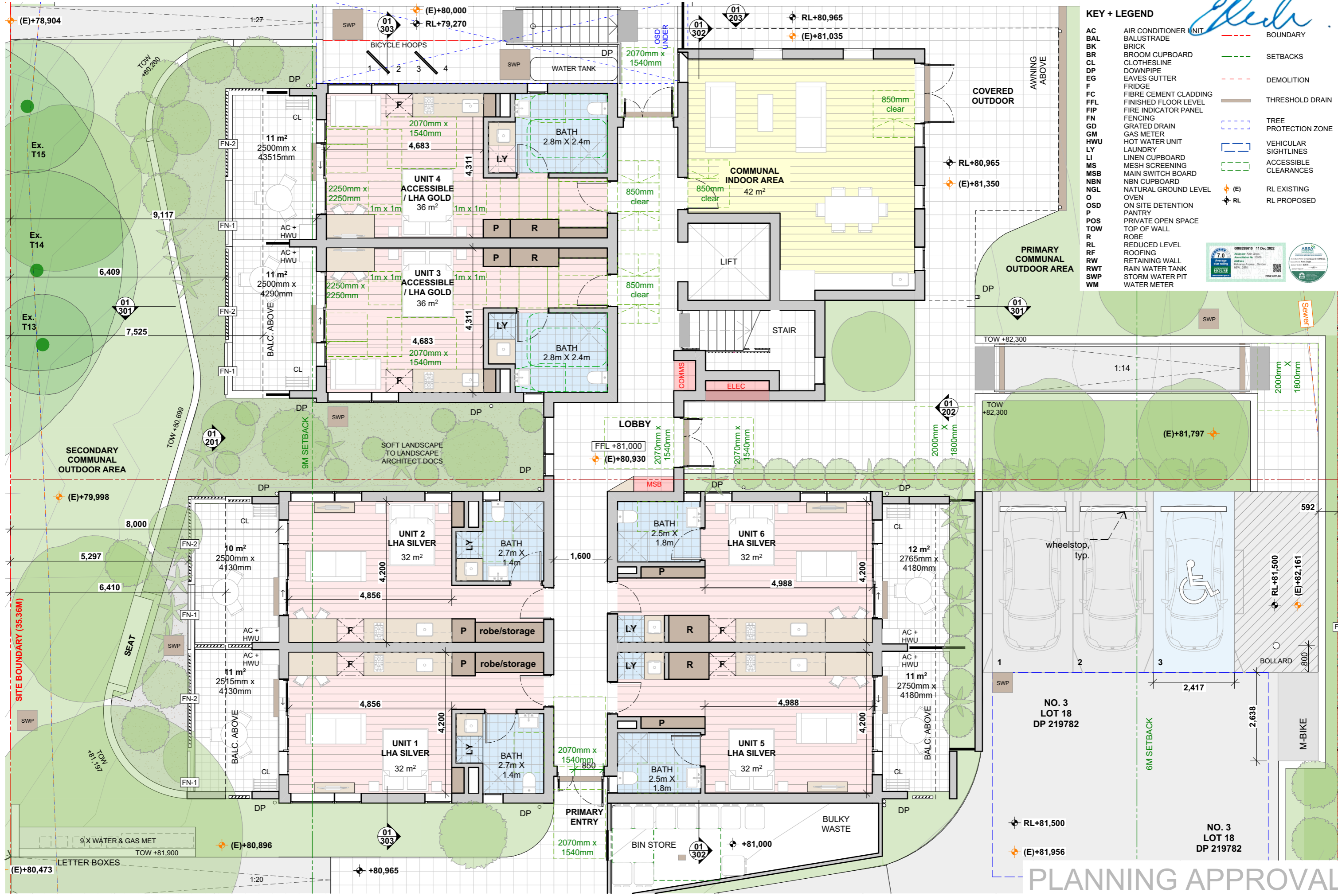
samcrawfordarchitects
Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042
TELEPHONE +612 9519 6800
EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782



SCALE @ A3 1:200	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A105	REV 01
DRAWING TITLE SITE PLAN				



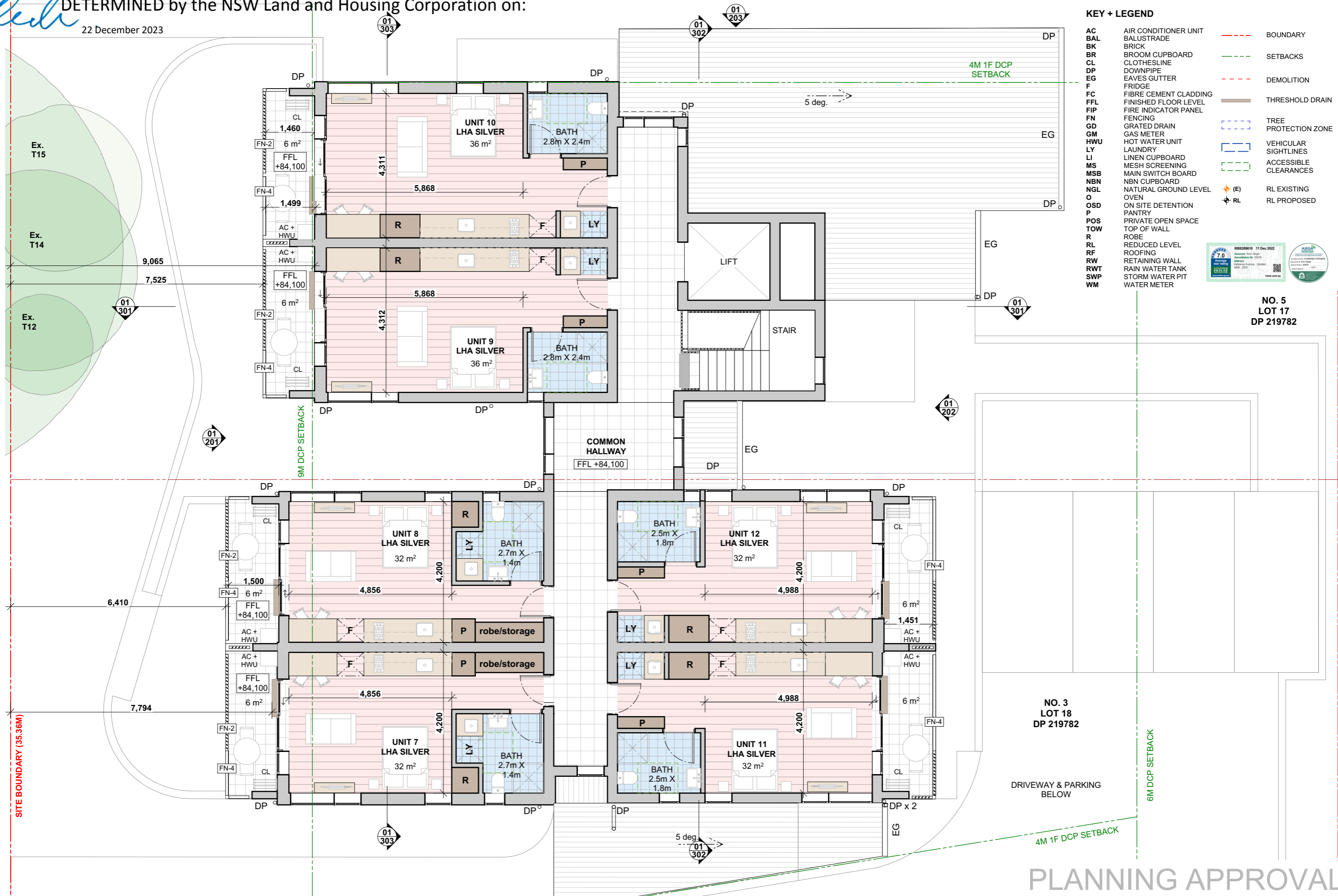
KEY + LEGEND		
AC	AIR CONDITIONER UNIT	BOUNDARY
BAL	BALUSTRADE	SETBACKS
BK	BRICK	DEMOLITION
BR	BROOM CUPBOARD	THRESHOLD DRAIN
CL	CLOTHESLINE	TREE PROTECTION ZONE
DP	DOWNPIPE	VEHICULAR SIGHTLINES
EG	EAVES GUTTER	ACCESSIBLE CLEARANCES
F	FRIDGE	RL EXISTING
FC	FIBRE CEMENT CLADDING	RL PROPOSED
FFL	FINISHED FLOOR LEVEL	
FIP	FIRE INDICATOR PANEL	
FN	FENCING	
GD	GRATED DRAIN	
GM	GAS METER	
HWU	HOT WATER UNIT	
LY	LAUNDRY	
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O	ON SITE DETENTION	
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P	PRIVATE OPEN SPACE	
POS	TOP OF WALL	
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RF	ROOFING	
RW	RETAINING WALL	
RWT	RAIN WATER TANK	
SWP	STORM WATER PIT	
WM	WATER METER	

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22 December 2023



KEY + LEGEND			
AC	AIR CONDITIONER UNIT	---	BOUNDARY
BAL	BALUSTRADE	---	BOUNDARY
BK	BRICK	---	BOUNDARY
BR	BROOM CUPBOARD	---	BOUNDARY
CL	CLOTHESLINE	---	BOUNDARY
DP	DOWNPIPE	---	BOUNDARY
EG	EAVES GUTTER	---	BOUNDARY
F	FRIDGE	---	BOUNDARY
FC	FIBRE CEMENT CLADDING	---	BOUNDARY
FFL	FINISHED FLOOR LEVEL	---	BOUNDARY
FIP	FIRE INDICATOR PANEL	---	BOUNDARY
FN	FENCING	---	BOUNDARY
GD	GRATED DRAIN	---	BOUNDARY
GM	GAS METER	---	BOUNDARY
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NGL	NATURAL GROUND LEVEL	---	BOUNDARY
O	OVEN	---	BOUNDARY
OSD	ON SITE DETENTION	---	BOUNDARY
P	PANTRY	---	BOUNDARY
POS	PRIVATE OPEN SPACE	---	BOUNDARY
TOW	TOP OF WALL	---	BOUNDARY
R	ROBE	---	BOUNDARY
RL	REDUCED LEVEL	---	BOUNDARY
RF	ROOFING	---	BOUNDARY
RW	RETAINING WALL	---	BOUNDARY
RWT	RAIN WATER TANK	---	BOUNDARY
SWP	STORM WATER PIT	---	BOUNDARY
WM	WATER METER	---	BOUNDARY
---	THRESHOLD DRAIN	---	BOUNDARY
---	TREE PROTECTION ZONE	---	BOUNDARY
---	VEHICULAR SIGHTLINES	---	BOUNDARY
---	ACCESSIBLE CLEARANCES	---	BOUNDARY
---	RL EXISTING	---	BOUNDARY
---	RL PROPOSED	---	BOUNDARY



NO. 5
LOT 17
DP 219782

NO. 3
LOT 18
DP 219782

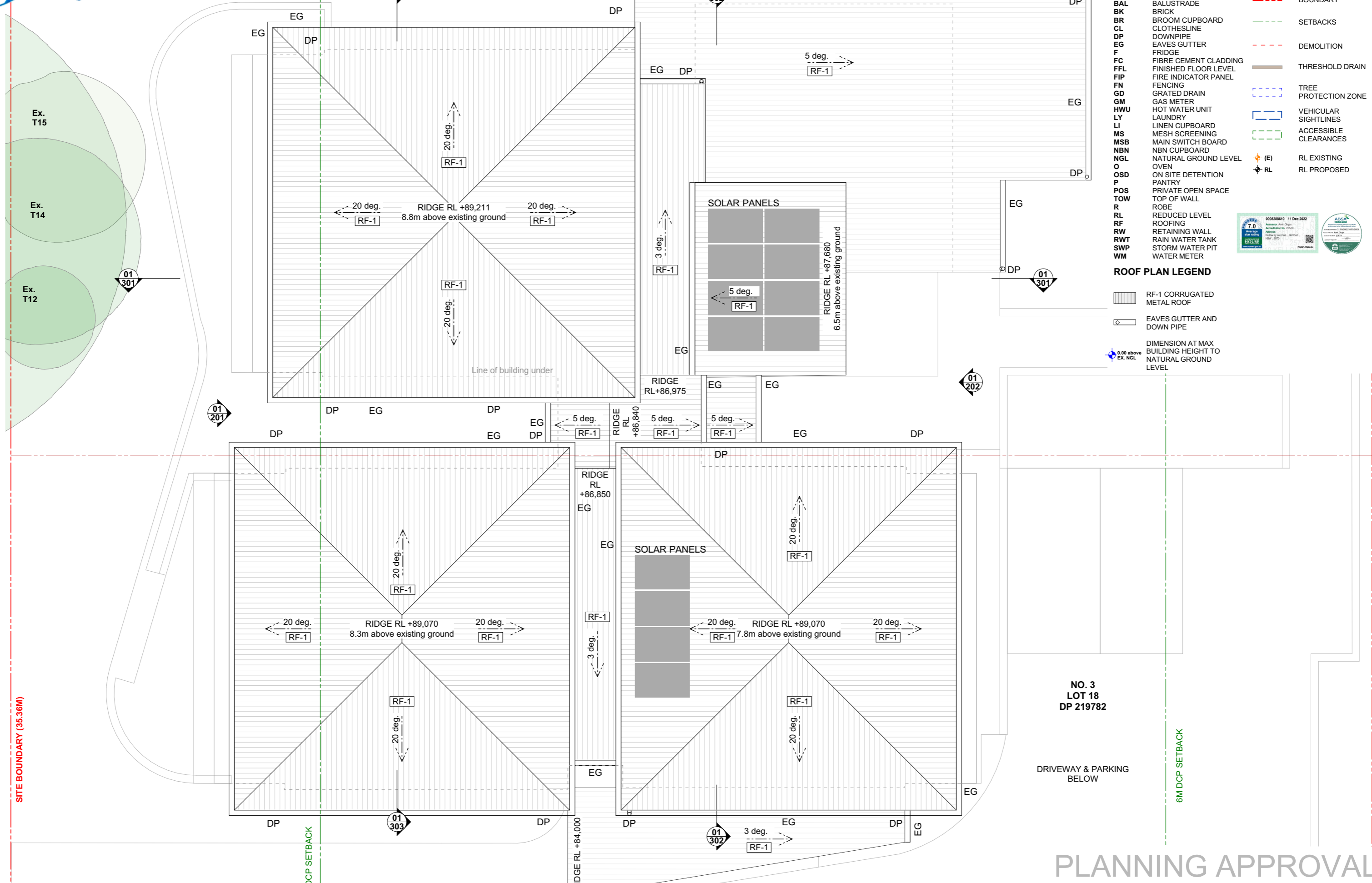
DRIVEWAY & PARKING
BELOW

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	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/ land-and-housing-corporation	DESCRIPTION Part 5 submission	REV 01	APP'D SC	DATE 8/12/2022	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT LAND & HOUSING CORPORATION (LAHC)	PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	LOT 17/ DP 219782 LOT 18/ DP 219782	NORTH POINT 	SCALE @ A3 1:100	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A107	REV 01
	DRAWING TITLE FIRST FLOOR PLAN														

22 December 2023






KEY + LEGEND					
AC BAL BK BR CL DP EG F FC FFL FIP FN GD GM HWU LY LI MS MSB NBN NGL O OSD P POS TOW R RL RF RW RTW SWP WM	AIR CONDITIONER UNIT BALUSTRADE BRICK BROOM CUPBOARD CLOTHESLINE DOWNPIPE EAVES GUTTER FRIDGE FIBRE CEMENT CLADDING FINISHED FLOOR LEVEL FIRE INDICATOR PANEL FENCING GRATED DRAIN GAS METER HOT WATER UNIT LAUNDRY LINEN CUPBOARD MESH SCREENING MAIN SWITCH BOARD NBN CUPBOARD NATURAL GROUND LEVEL OVEN ON SITE DETENTION PANTRY PRIVATE OPEN SPACE TOP OF WALL ROBE REDUCED LEVEL ROOFING RETAINING WALL RAIN WATER TANK STORM WATER PIT WATER METER		BOUNDARY		SETBACKS
			DEMOLITION		THRESHOLD DRAIN
			TREE PROTECTION ZONE		VENICHAR SIGHTLINES
			ACCESSIBLE CLEARANCES		(E) RL EXISTING
			RL		RL PROPOSED

ROOF PLAN LEGEND

	RF-1 CORRUGATED METAL ROOF
	EAVES GUTTER AND DOWN PIPE
	DIMENSION AT MAX BUILDING HEIGHT TO NATURAL GROUND LEVEL

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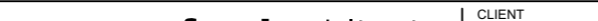
EXTERNAL FINISHES

- BAL-01 BALUSTRADE**
METAL BALUSTRADE IN SHALE GREY
- BK-01 WALLS**
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02 WALLS**
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01 WALLS**
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133

- FC-02 SCREEN**
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01 ROOF**
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY
- RW-01 WALLS**
RENDERED RETAINING WALLS



PLANNING APPROVAL

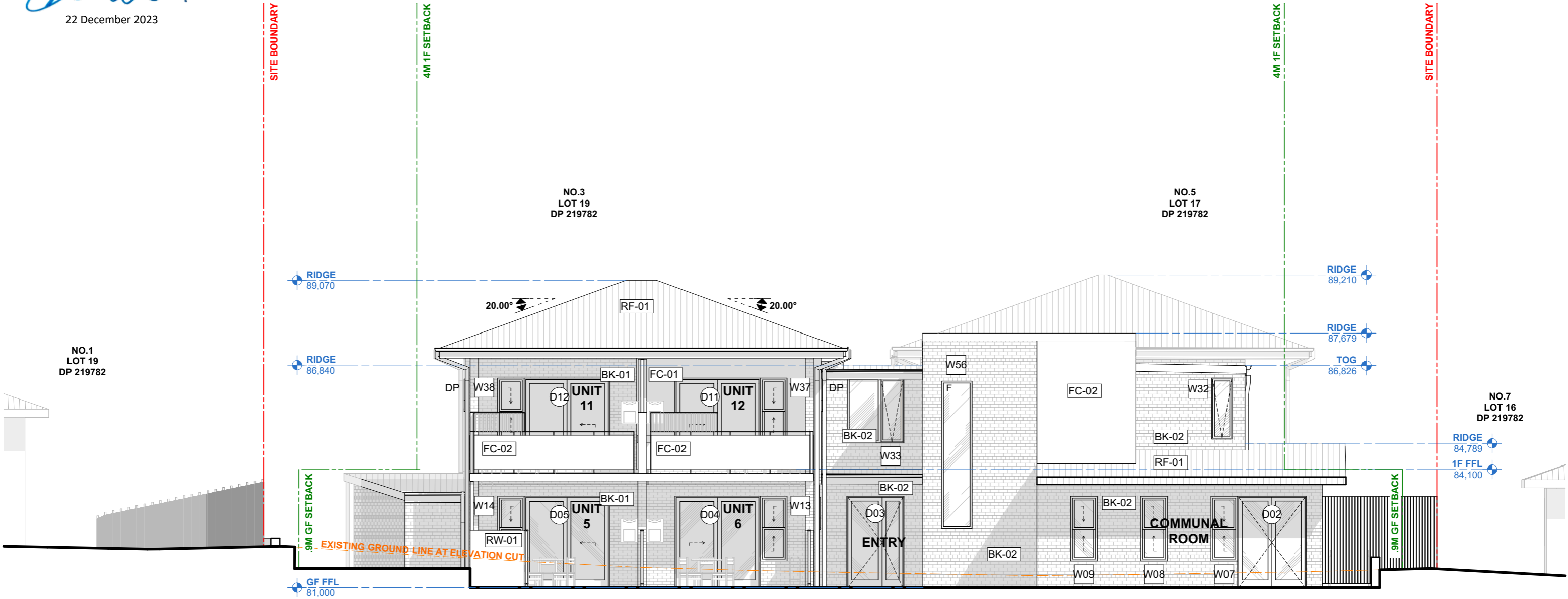
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	DRAWING TITLE NORTH ELEVATION (STREET)											

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Chad

22 December 2023

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EXTERNAL FINISHES

- BAL-01 BALUSTRADE**
METAL BALUSTRADE IN SHALE GREY
- BK-01 WALLS**
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02 WALLS**
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01 WALLS**
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133
- FC-02 SCREEN**
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01 ROOF**
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY
- RW-01 WALLS**
RENDERED RETAINING WALLS



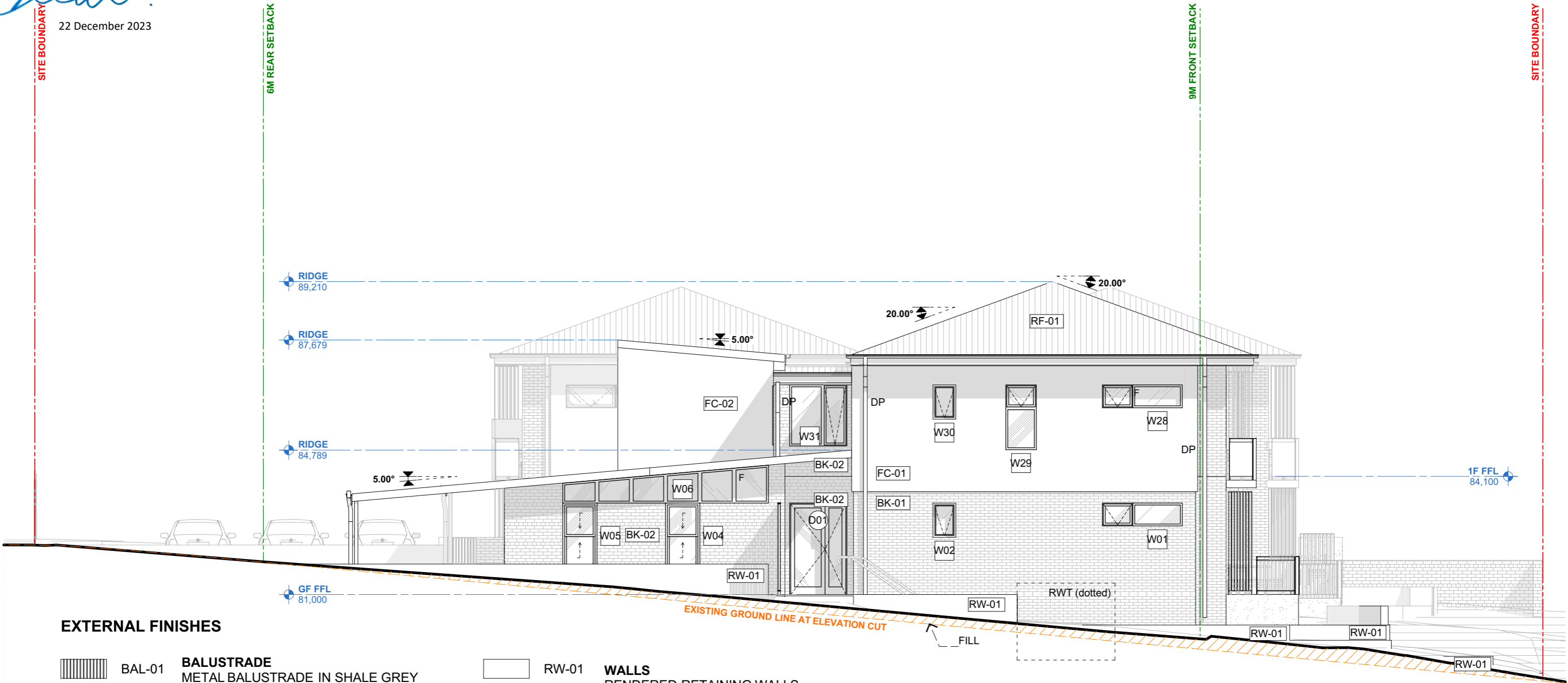
PLANNING APPROVAL

	LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT	LAND & HOUSING CORPORATION (LAHC) PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	LOT 17/ DP 219782 LOT 18/ DP 219782	NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	PARRAMATTA NSW 2124	Part 5 submission	01	SC	8/12/2022		1:100			BGX6L	AA	A202	01		
	PHONE: 1800 738 718														
	WEBSITE: https://www.dpie.nsw.gov.au/														
	land-and-housing-corporation														
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DRAWING TITLE SOUTH ELEVATION (REAR)															

22 December 2023

DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023



EXTERNAL FINISHES

BAL-01 BALUSTRADE
METAL BALUSTRADE IN SHALE GREY

BK-01 WALLS
BRICK - PGH BRICKS
SMOOTH BLACK & TAN

BK-02 WALLS
BRICK - PGH BRICKS
BOTANICALS JUNIPER

FC-01 WALLS
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133

FC-02 SCREEN
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01

RF-01 ROOF
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY

RW-01 WALLS
RENDERED RETAINING WALLS

PLANNING APPROVAL

LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE
PARRAMATTANSW 2124	Part 5 submission	01	SC	8/12/2022
PHONE: 1800 738 718				
WEBSITE: https://www.dpie.nsw.gov.au/				
land-and-housing-corporation				

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TELEPHONE +612 9519 6800
EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT

SCALE @ A3
1:100

PROJECT NO.
BGX6L

STAGE
AA

DRAWING NO.
A203

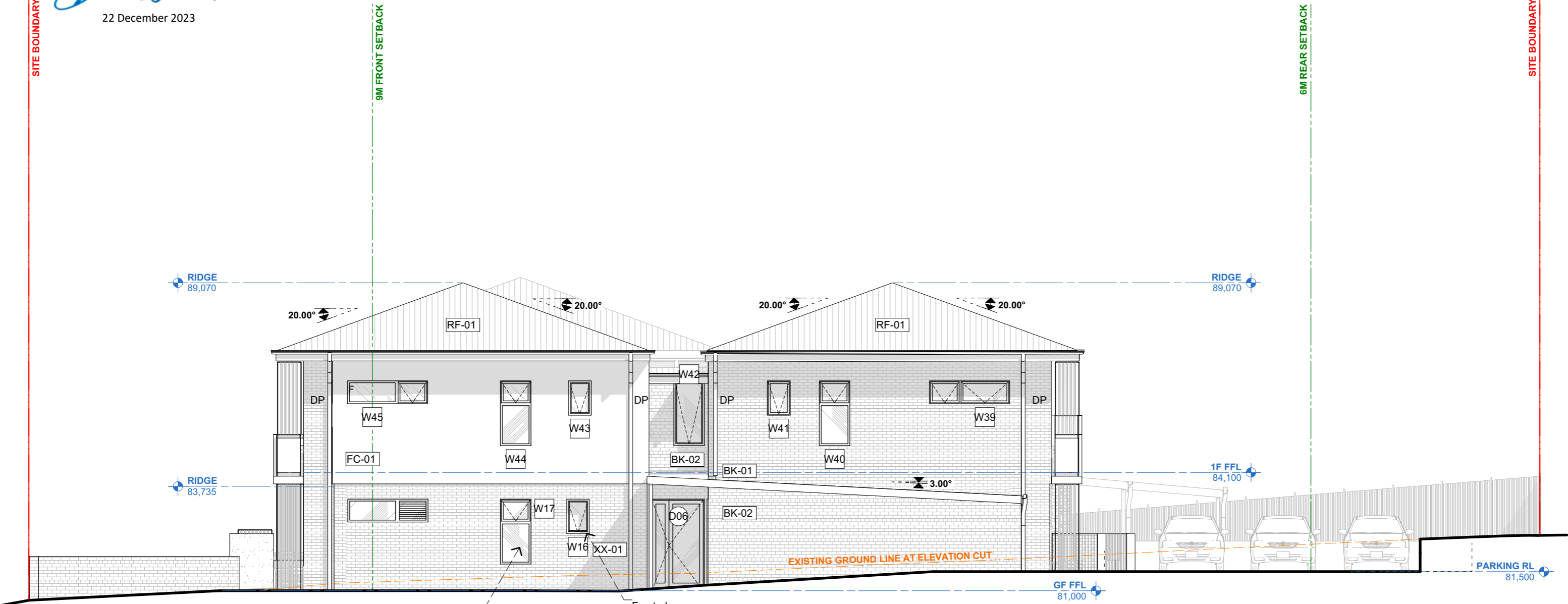
REV
01

DRAWING TITLE
EAST ELEVATION



22 December 2023

DETERMINED by the NSW Land and Housing Corporation on:





EXTERNAL FINISHES

- BAL-01 **BALUSTRADE**
METAL BALUSTRADE IN SHALE GREY
- BK-01 **WALLS**
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02 **WALLS**
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01 **WALLS**
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133
- FC-02 **SCREEN**
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01 **ROOF**
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY



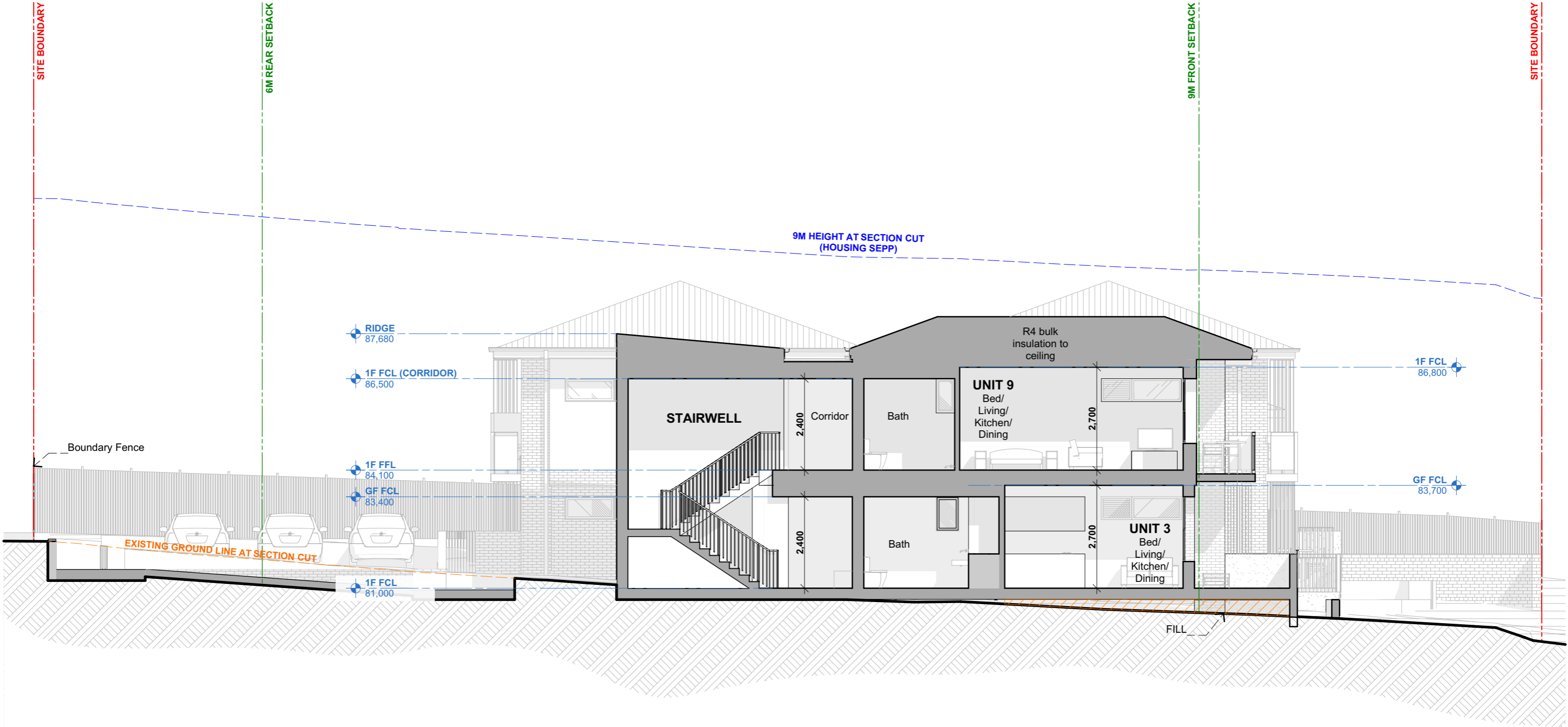
PLANNING APPROVAL

	LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT	LAND & HOUSING CORPORATION (LAHC) PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	LOT 17/ DP 219782 LOT 18/ DP 219782	NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	PARRAMATTA NSW 2124	Part 5 submission	01	SC	8/12/2022		1:100				BGX6L	AA	A204	01	
	PHONE: 1800 738 718														
	WEBSITE: https://www.dpie.nsw.gov.au/														
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DRAWING TITLE WEST ELEVATION															

Chad

DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023



PLANNING APPROVAL

LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE
PARRAMATTANSW 2124	Part 5 submission	01	SC	8/12/2022
PHONE: 1800 738 718				
WEBSITE: https://www.dpie.nsw.gov.au/				
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

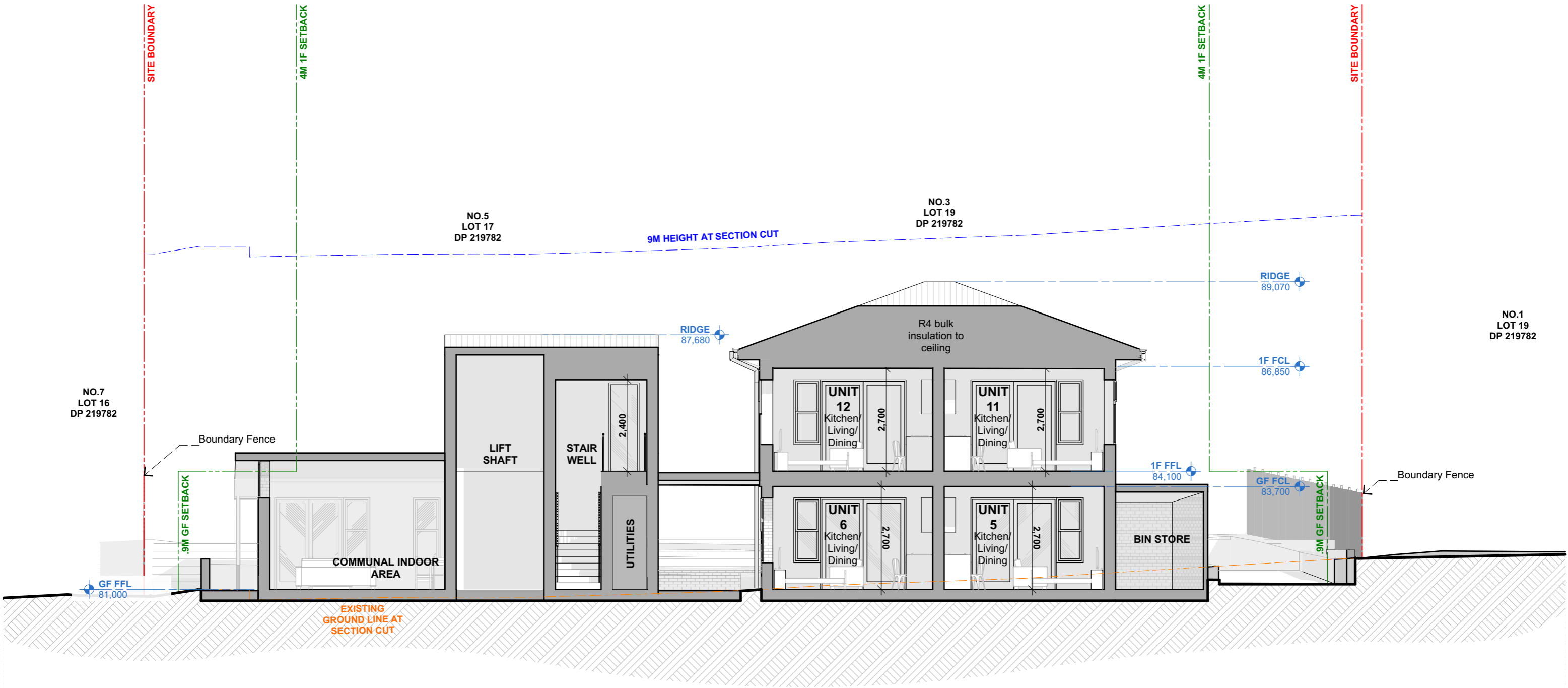
CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	1:100	BGX6L	AA	A301	01

Handwritten signature

DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023



PLANNING APPROVAL

LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE
PARRAMATTANSW 2124	Part 5 submission	01	SC	8/12/2022
PHONE: 1800 738 718				
WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation				

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT	PROJECT
LAND & HOUSING CORPORATION (LAHC)	CAMDEN BOARDING HOUSE
LOT 17/ DP 219782	3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY
LOT 18/ DP 219782	

NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	1:100	BGX6L	AA	A302	01





DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023



PLANNING APPROVAL

 <div>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/ land-and-housing-corporation</div>	DESCRIPTION	REV	APP'D	DATE	 <div>Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498</div>	CLIENT	LAND & HOUSING CORPORATION (LAHC)		LOT 17/ DP 219782 LOT 18/ DP 219782		NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV	
	Part 5 submission	01	SC	8/12/2022		1:100						BGX6L	AA	A303	01		
	PROJECT											DRAWING TITLE					
	CAMDEN BOARDING HOUSE											SECTION (CROSS 02)					
	3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY																

Printed: 2:52 PM, 14/02/2023



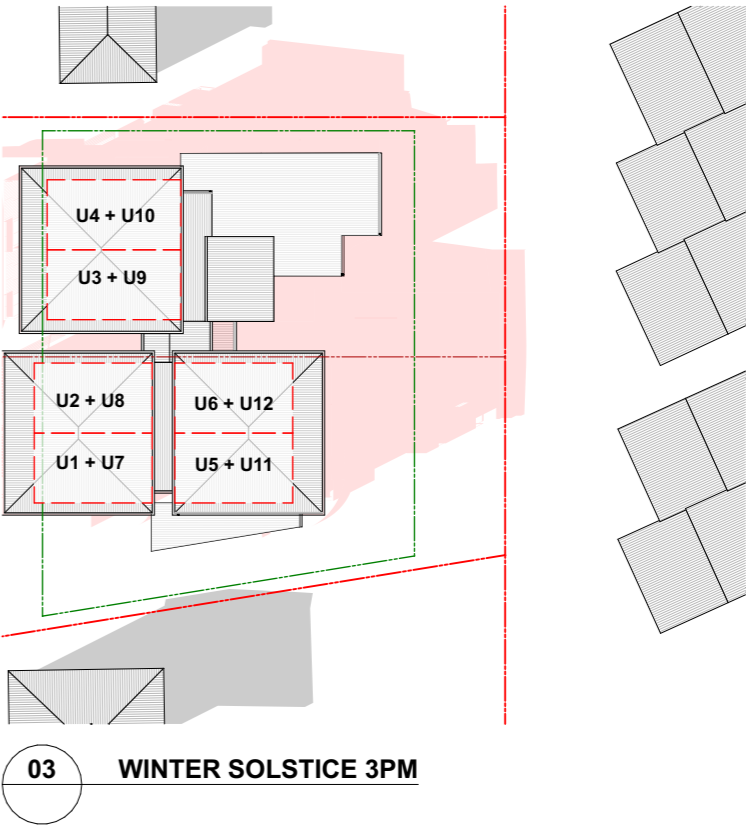
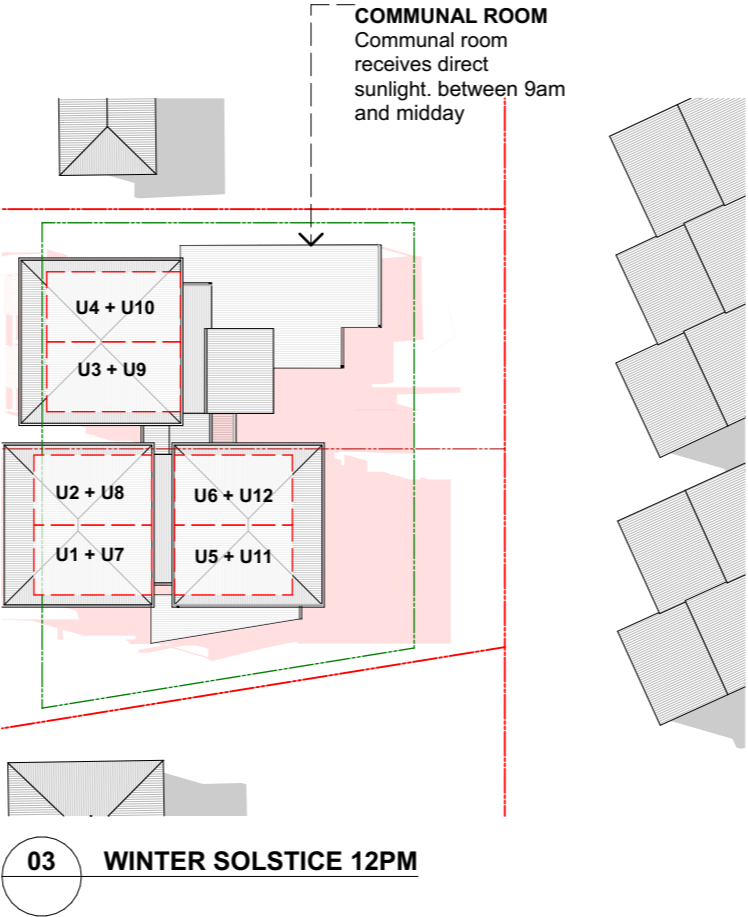
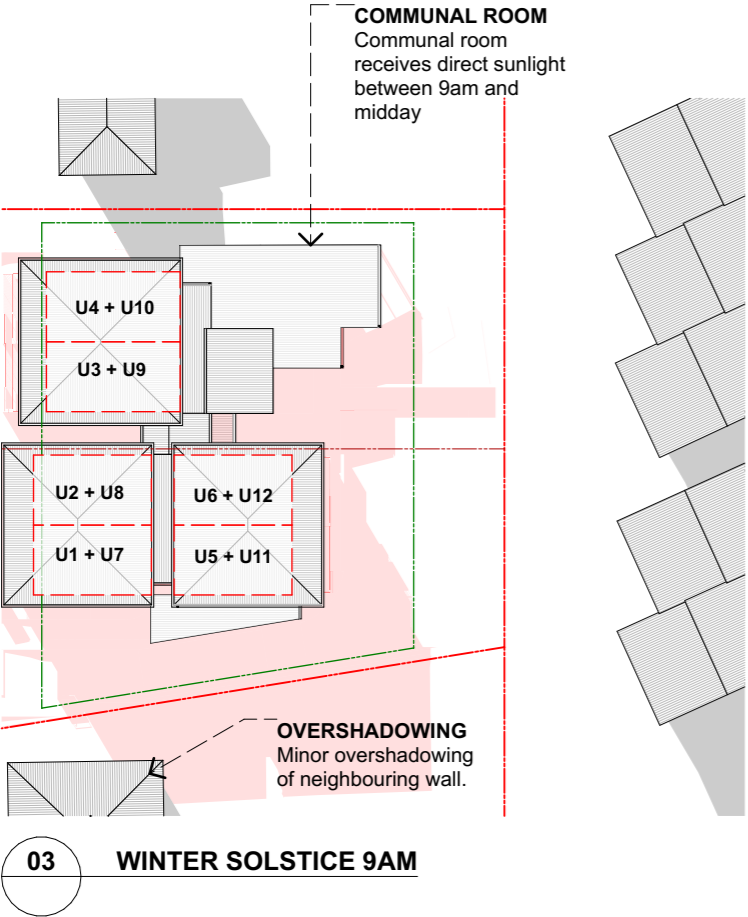
DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023

SOLAR ACCESS REQUIREMENTS

Req: 70% (9 units) to have a minimum of 3 hours of sunlight to the living spaces between 9am and 3pm on the winter solstice.

UNIT	COMPLIANT
U1	YES
U2	YES
U3	YES
U4	YES
U5	NO
U6	NO
U7	YES
U8	YES
U9	YES
U10	YES
U11	NO
U12	NO



LEGEND

- SHADOWS CAST BE NEIGHBOURS
- SHADOWS CAST BY PROPOSED DWELLING



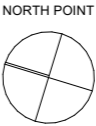
PLANNING APPROVAL

LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE
PARRAMATTANSW 2124	Part 5 submission	01	SC	8/12/2022
PHONE: 1800 738 718				
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LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782



SCALE @ A3
1:500
PROJECT NO.
BGX6L
STAGE
AA
DRAWING NO.
A401
REV
01

DRAWING TITLE
SHADOW DIAGRAMS



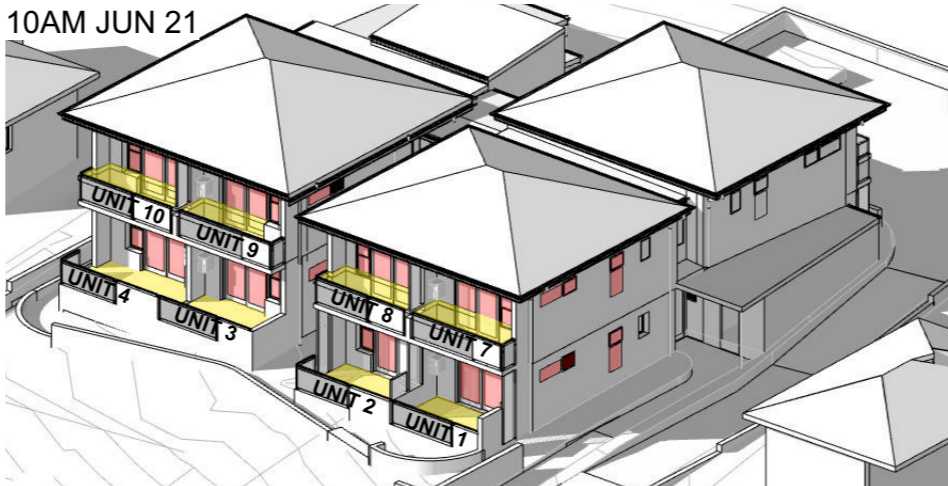
DETERMINED by the NSW Land and Housing Corporation on:

9AM JUN 21



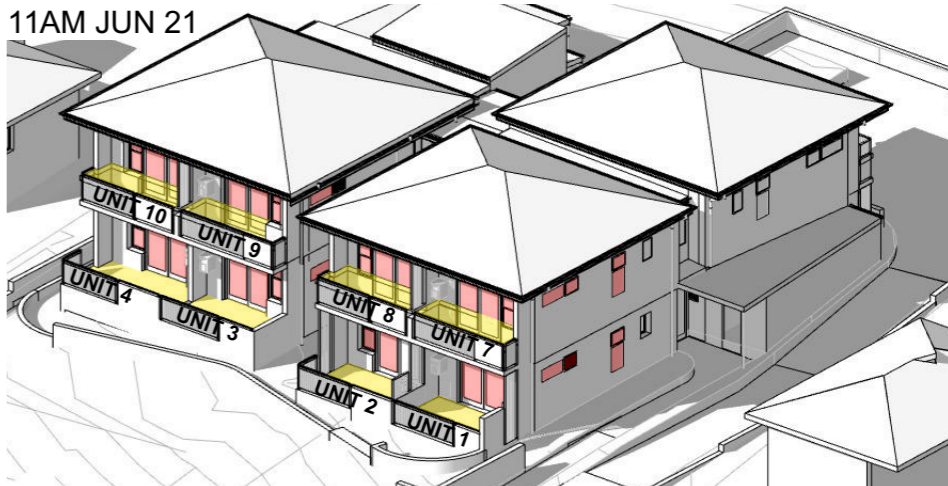
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UNIT 2: POS: **YES** LIVING: **NO**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **NO**
UNIT 10: POS: **YES** LIVING: **YES**

10AM JUN 21



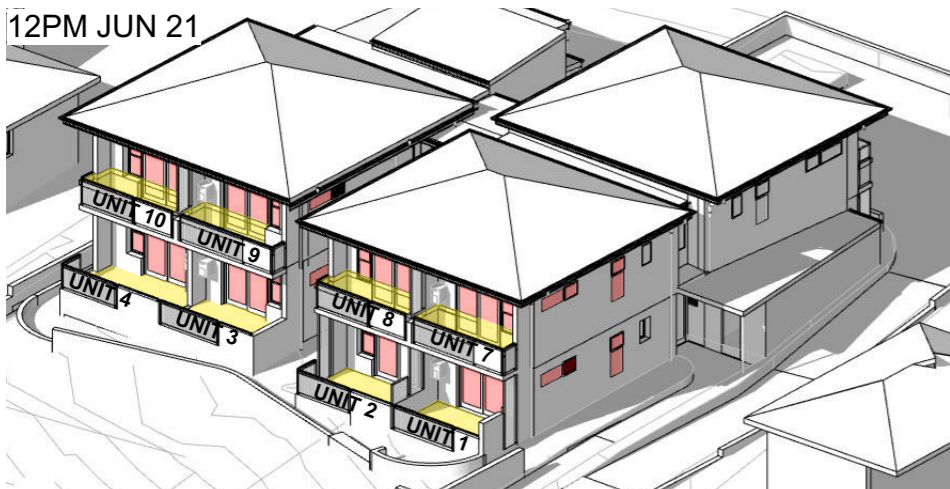
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UNIT 2: POS: **YES** LIVING: **YES**
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UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

11AM JUN 21



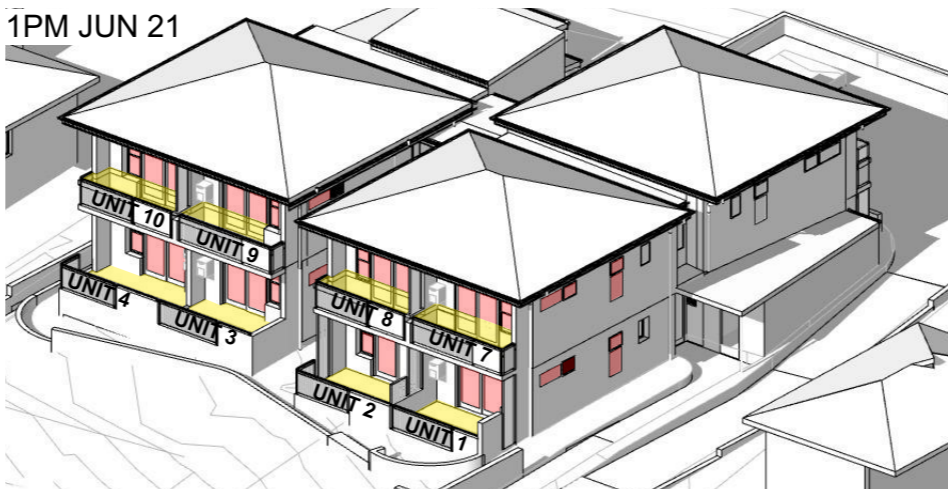
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UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

12PM JUN 21



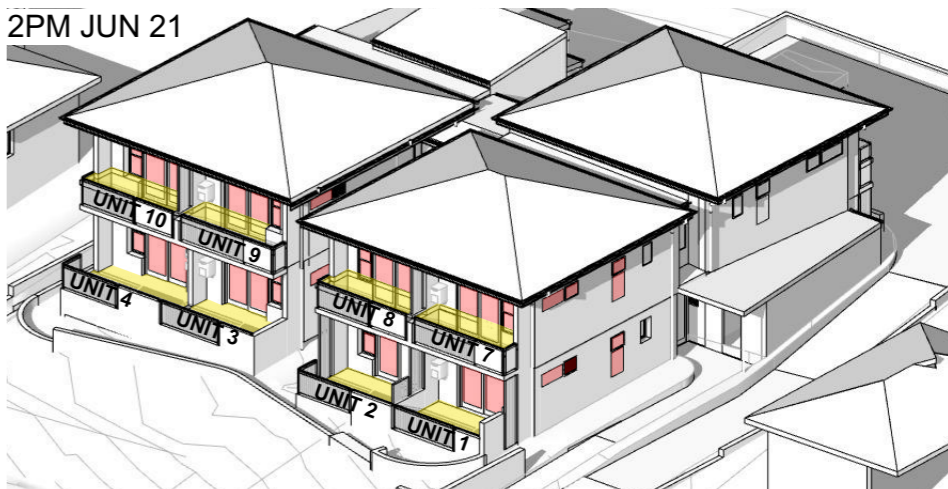
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UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

1PM JUN 21



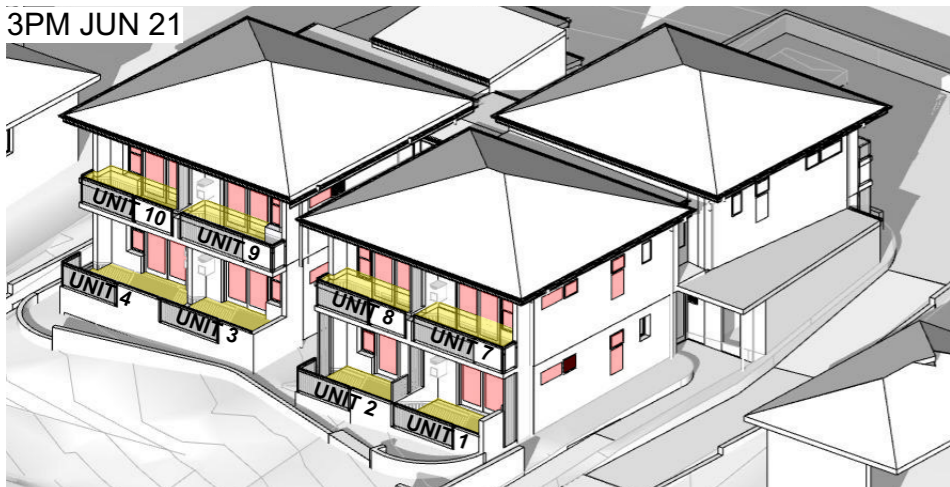
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UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

2PM JUN 21



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

3PM JUN 21



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

UNIT 1: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 2: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 3: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 4: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 5: *Not assessed from this angle.*
UNIT 6: *Not assessed from this angle.*
UNIT 7: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 8: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 9: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 10: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 11: *Not assessed from this angle.*
UNIT 12: *Not assessed from this angle.*

TOTAL COMPLYING: 8 OUT OF 12 UNITS

LEGEND

- PRIVATE OPEN SPACES
- GLAZING TO LIVING ROOM



PLANNING APPROVAL



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE: 1800 738 718
WEBSITE: <https://www.dpie.nsw.gov.au/>

DESCRIPTION
Part 5 submission

REV
01

APP'D
SC

DATE
8/12/2022

samcrawfordarchitects

Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042
TELEPHONE +612 9519 6800

EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT

SCALE @ A3
N.T.S.

PROJECT NO.
BGX6L

STAGE
AA

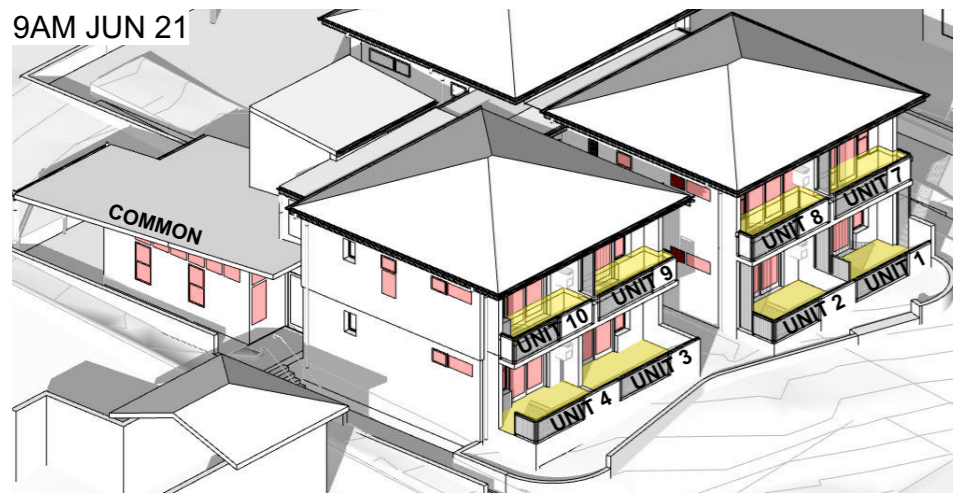
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A402

REV
01

SOLAR DIAGRAMS NORTH WEST

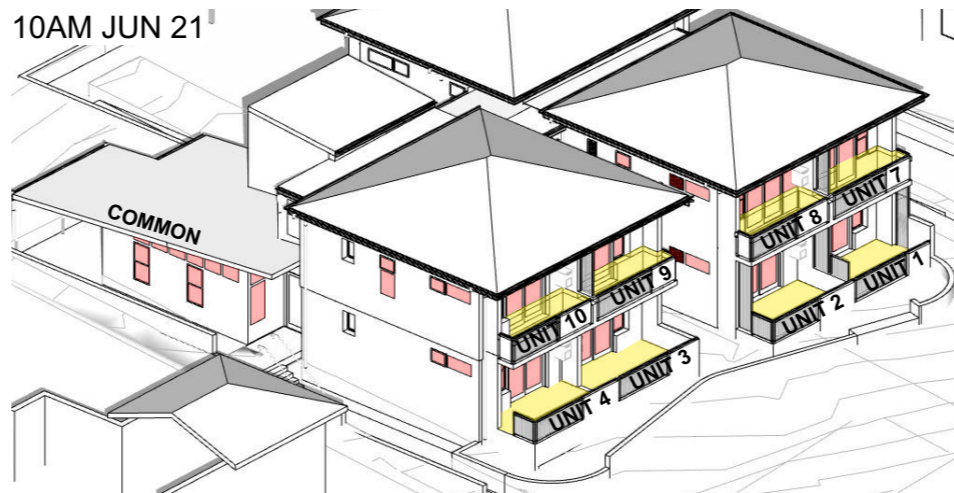


9AM JUN 21



UNIT 1: POS: **YES** LIVING: **NO** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **NO** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **NO**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

10AM JUN 21



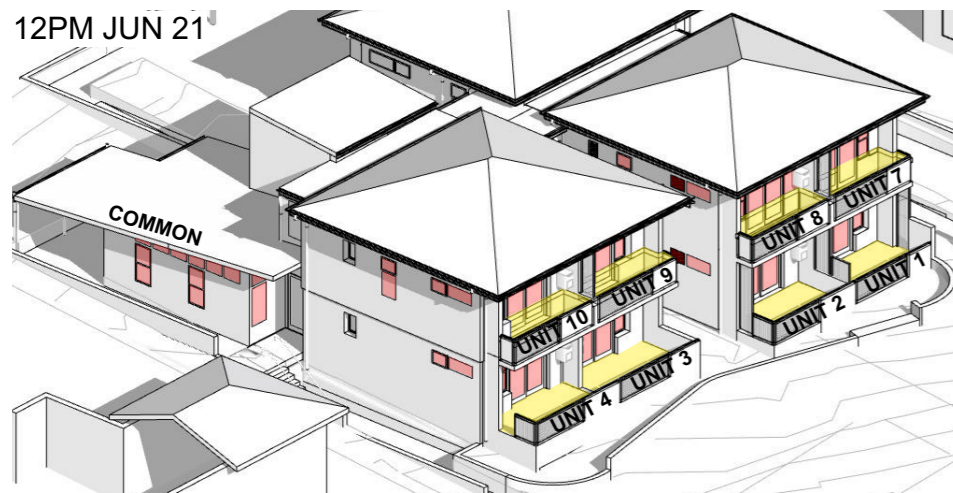
UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

11AM JUN 21



UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

12PM JUN 21



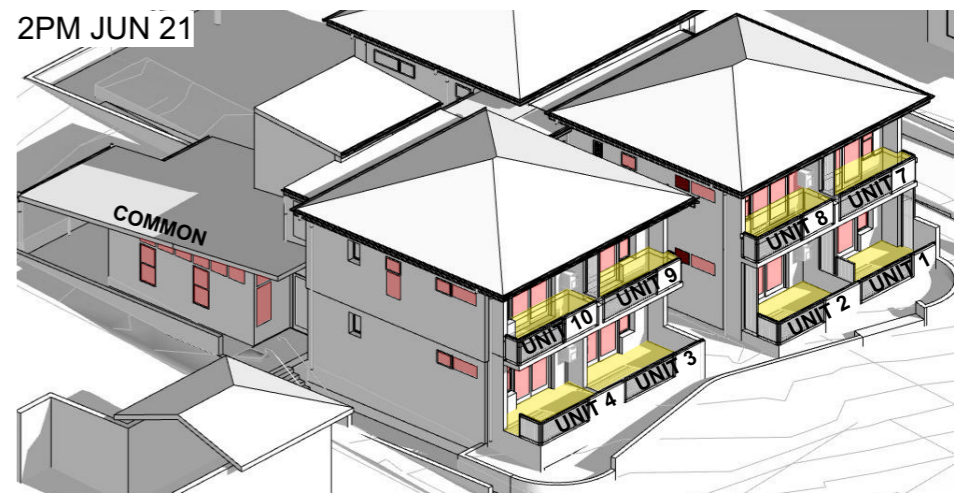
UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

1PM JUN 21



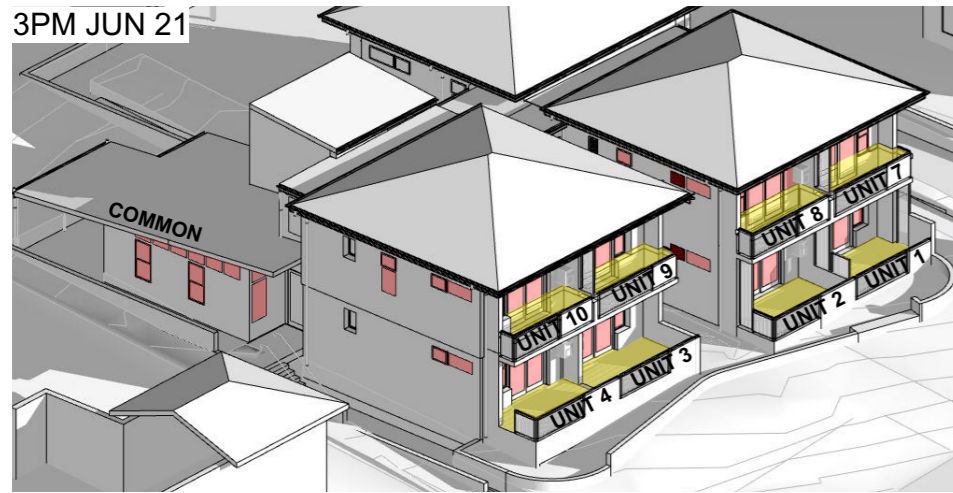
UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

2PM JUN 21



UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

3PM JUN 21



UNIT 1: POS: **YES** LIVING: **YES** UNIT 7: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES** UNIT 8: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES** UNIT 9: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES** UNIT 10: POS: **YES** LIVING: **YES**

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

UNIT 1: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 2: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 3: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 4: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 5: *Not assessed from this angle.*
UNIT 6: *Not assessed from this angle.*
UNIT 7: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 8: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 9: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 10: 3HR minimum (9AM-3PM) Midwinter POS: **YES** LIVING: **YES**
UNIT 11: *Not assessed from this angle.*
UNIT 12: *Not assessed from this angle.*
COMMON: 3HR minimum (9AM-3PM) Midwinter Y/N: **YES**

TOTAL COMPLYING: 8 OUT OF 12 UNITS

LEGEND

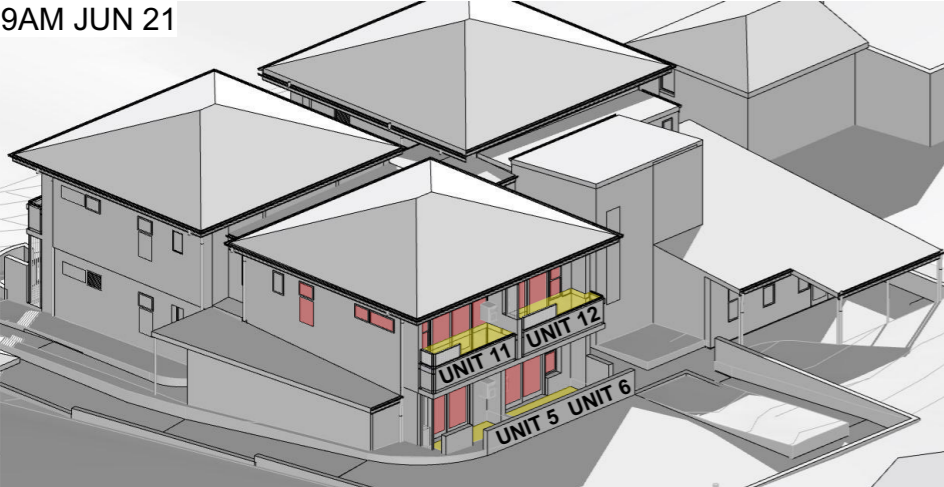
- PRIVATE OPEN SPACES
 GLAZING TO LIVING ROOM



PLANNING APPROVAL

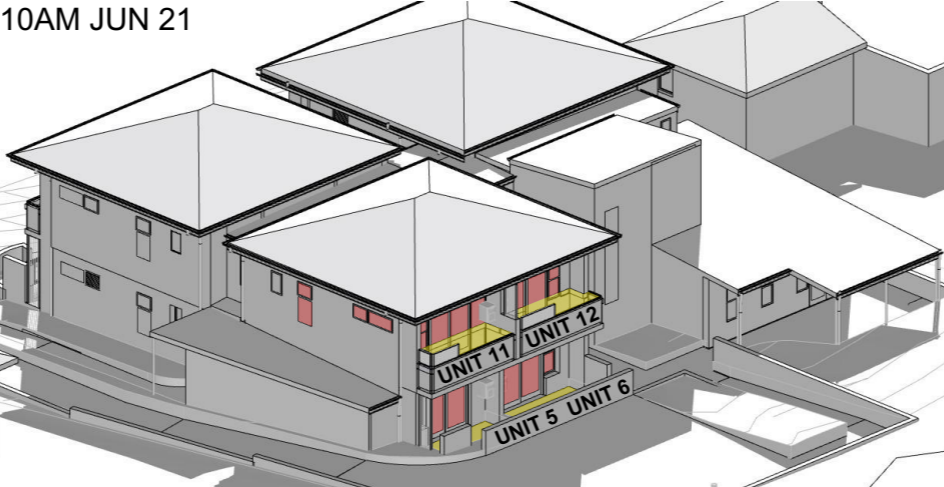


9AM JUN 21



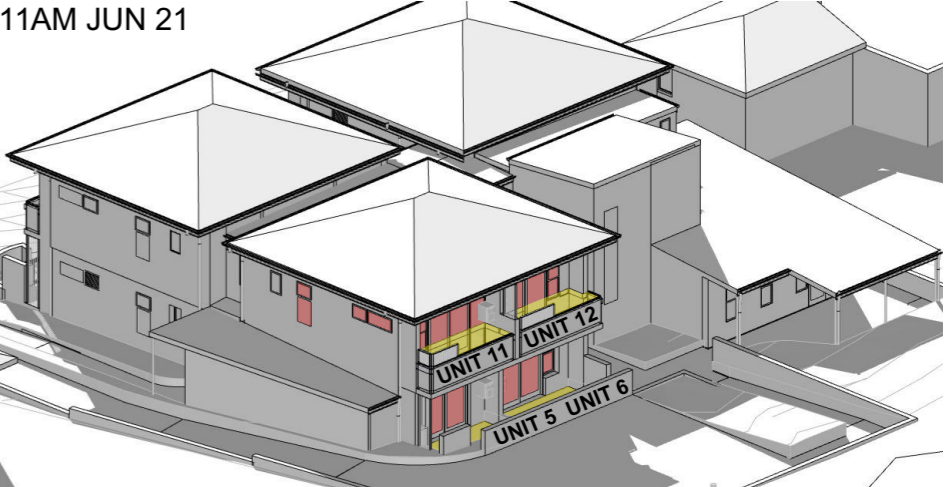
UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

10AM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

11AM JUN 21



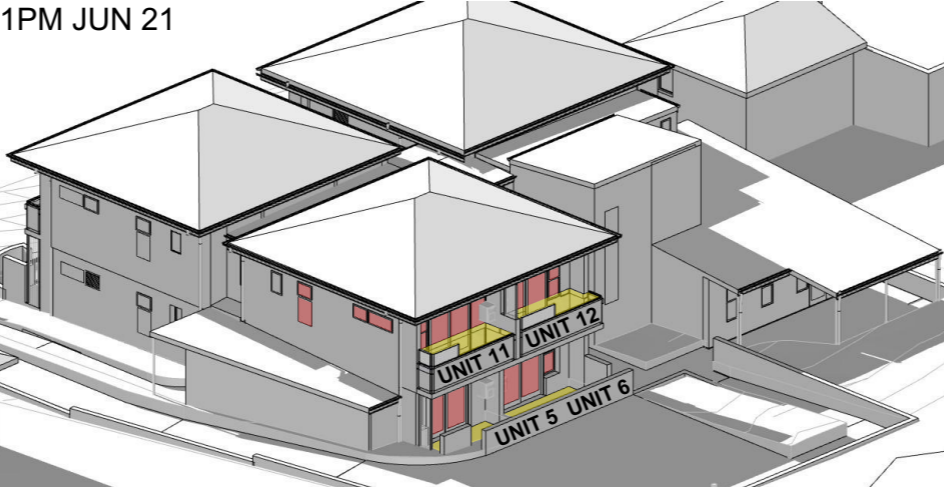
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UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

12PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

1PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

2PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

3PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: YES
UNIT 12: POS: NO LIVING: NO

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

- UNIT 1: *Not assessed from this angle.*
UNIT 2: *Not assessed from this angle.*
UNIT 3: *Not assessed from this angle.*
UNIT 4: *Not assessed from this angle.*
UNIT 5: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 6: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 7: *Not assessed from this angle.*
UNIT 8: *Not assessed from this angle.*
UNIT 9: *Not assessed from this angle.*
UNIT 10: *Not assessed from this angle.*
UNIT 11: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 12: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO

TOTAL COMPLYING: 8 OUT OF 12 UNITS

LEGEND

PRIVATE OPEN SPACES

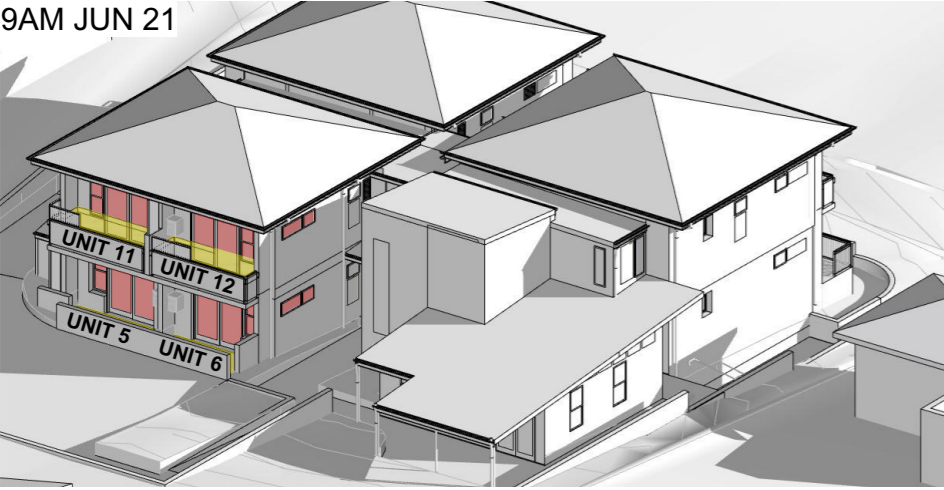
GLAZING TO LIVING ROOM



PLANNING APPROVAL

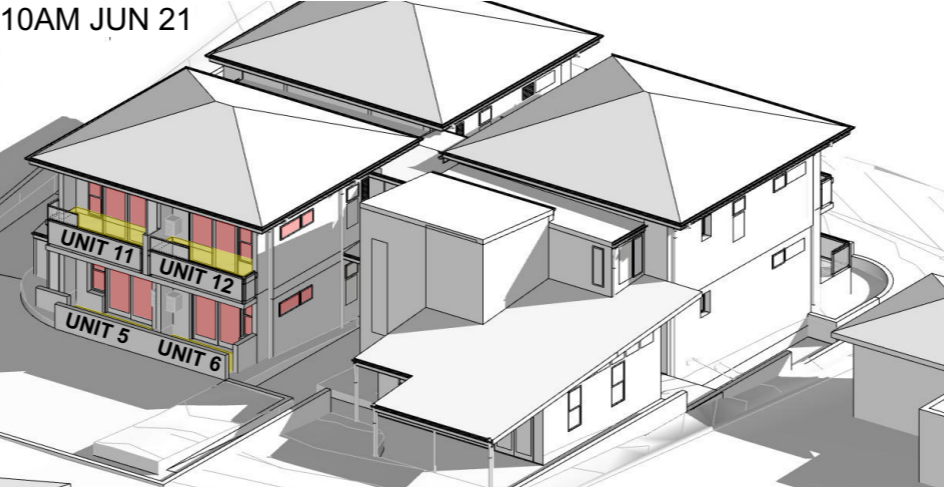


9AM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

10AM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

11AM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

12PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

1PM JUN 21



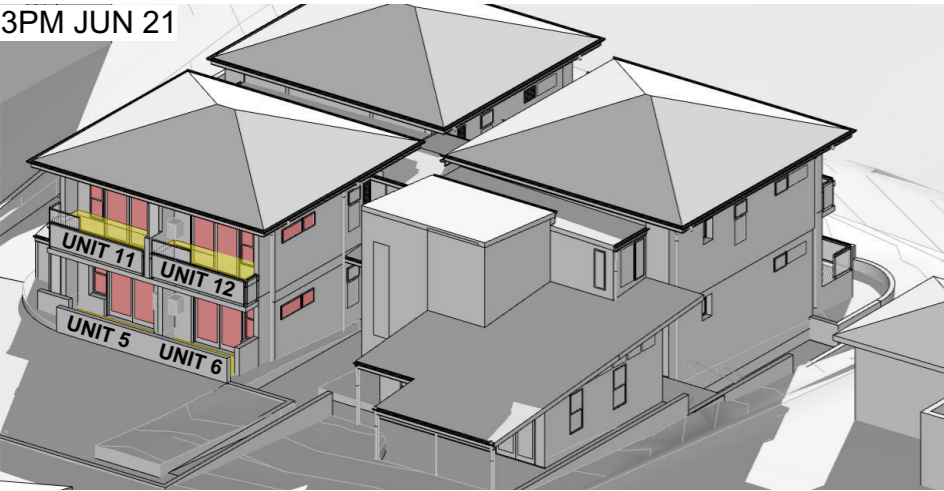
UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

2PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

3PM JUN 21



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: YES
UNIT 12: POS: NO LIVING: NO

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

UNIT 1: *Not assessed from this angle.*
UNIT 2: *Not assessed from this angle.*
UNIT 3: *Not assessed from this angle.*
UNIT 4: *Not assessed from this angle.*
UNIT 5: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 6: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 7: *Not assessed from this angle.*
UNIT 8: *Not assessed from this angle.*
UNIT 9: *Not assessed from this angle.*
UNIT 10: *Not assessed from this angle.*
UNIT 11: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 12: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO

TOTAL COMPLYING: 8 OUT OF 12 UNITS

LEGEND

- PRIVATE OPEN SPACES
GLAZING TO LIVING ROOM



PLANNING APPROVAL



LOCKED BAG 5022
PARRAMATTAN NSW 2124
PHONE: 1800 738 718
WEBSITE: <https://www.dpie.nsw.gov.au/>

DESCRIPTION
Part 5 submission

REV 01
APP'D SC
DATE 8/12/2022

samcrawfordarchitects

Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042
TELEPHONE +612 9519 6800

EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT

SCALE @ A3
N.T.S.

PROJECT NO.
BGX6L

STAGE
AA

DRAWING NO.
A405

REV
01

DRAWING TITLE
SOLAR DIAGRAMS SOUTH EAST



BAL-01
Metal Balustrade in 'Shale Grey'
finish



BK-01
PGH Smooth - Black & Tan



BK-02
PGH Botanicals - Juniper



RF-01
Lysaght custom orb 0.48 BMT in 'Shale Grey'. Steel Columns, Fascia, Gutter, Downpipe to be in 'Shale Grey'



FC-01
James Hardie Axon Cladding - Smooth 133



FC-02
FC sheeting painted to match FC-01



RW-01
Concrete Blockwork Retaining Wall with rendered finish



03

Driveway/entry



02


Communal indoor/outdoor



01

Street perspective 2

PLANNING APPROVAL

	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/	DESCRIPTION Part 5 submission	REV 01	APP'D SC	DATE 8/12/2022
	land-and-housing-corporation				
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT	SCALE @ A3 N.T.S.	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A501	REV 01
DRAWING TITLE MATERIAL SCHEDULE					





Check

DETERMINED by the NSW Land and Housing Corporation on: 22 December 2023



PLANNING APPROVAL

	LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT LAND & HOUSING CORPORATION (LAHC) PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	LOT 17/ DP 219782 LOT 18/ DP 219782	NORTH POINT	SCALE @ A3 N.T.S.	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A601	REV 01
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LAHC CAMDEN BOARDING HOUSE
100% DESIGN DEVELOPMENT PACKAGE
3-5 KELLOWAY AVENUE, CAMDEN (LOT 17 AND 18, DP 219782)

Prepared for

**NSW LAND AND HOUSING
CORPORATION**

MARCH 2023

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Extent of Work	03
Landscape Plan	04
Fencing Strategy	05
Material Selection	06
Landscape Key Plan and Sections	07
Planting Schedule	08
Typical Landscape Details	09



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China
South East Asia

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Report title	3-5 Kelloway Avenue Camden NSW 2570
Document number	2520051
Prepared for	Sam Crawford Architects
Authors	Georgia McDonald, Caleb Wright
Revision number	02
Revision issue date	March 2023
Approved	Nick Ison
Reason for revision	Final Issue

Disclaimer: This report has been prepared in accordance with the scope of services described in the contract or agreement between Place Design Group Pty Ltd ACN 082 370063 and the Client. The report relies upon data, surveys, measurements and results taken at or under the particular times and conditions specified herein. Any findings, conclusions or recommendations only apply to the aforementioned circumstances and no greater reliance should be assumed or drawn by the Client. Furthermore, the report has been prepared solely for use by the Client and Place Design Group accepts no responsibility for its use by other parties.

EXTENT OF WORK

DETERMINED by the NSW Land and Housing Corporation on:

[Signature]
22 December 2023

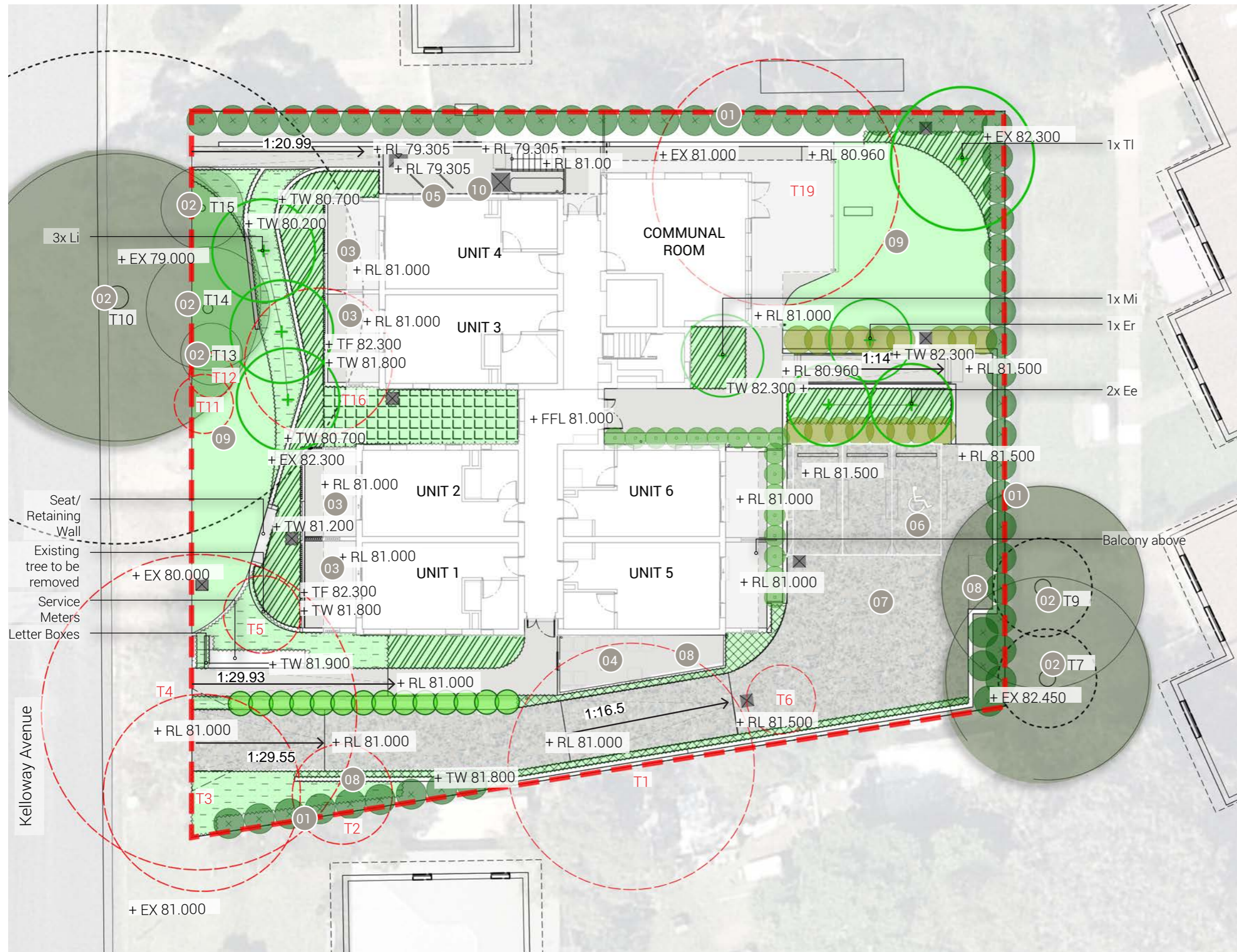


 Extent of works

















LANDSCAPE PLAN

DETERMINED by the NSW Land and Housing Corporation on:

22 December 2023



LEGEND:

-  Extent of works
-  Mix 1
-  Mix 2
-  Mix 3
-  Liriope muscari 'Just Right'
-  Turf area
-  Paver
-  Driveway pavement
-  Stormwater pit
-  Existing tree to be retained
-  Existing tree to be removed
-  Proposed tree
-  Syzygium australe
-  Melaleuca 'Claret Tops'
-  Callistemon viminalis
-  Callistemon 'White Anzac'

NOTES:

- 01 2m high hedging along site boundary for privacy
- 02 Existing trees to be retained
- 03 Paved private open space
- 04 Bin store location
- 05 Bicycle Parking
- 06 Accessible Parking
- 07 Car Park
- 08 Motorcycle Parking
- 09 Communal Outdoor Area
- 10 OSD Tank Below

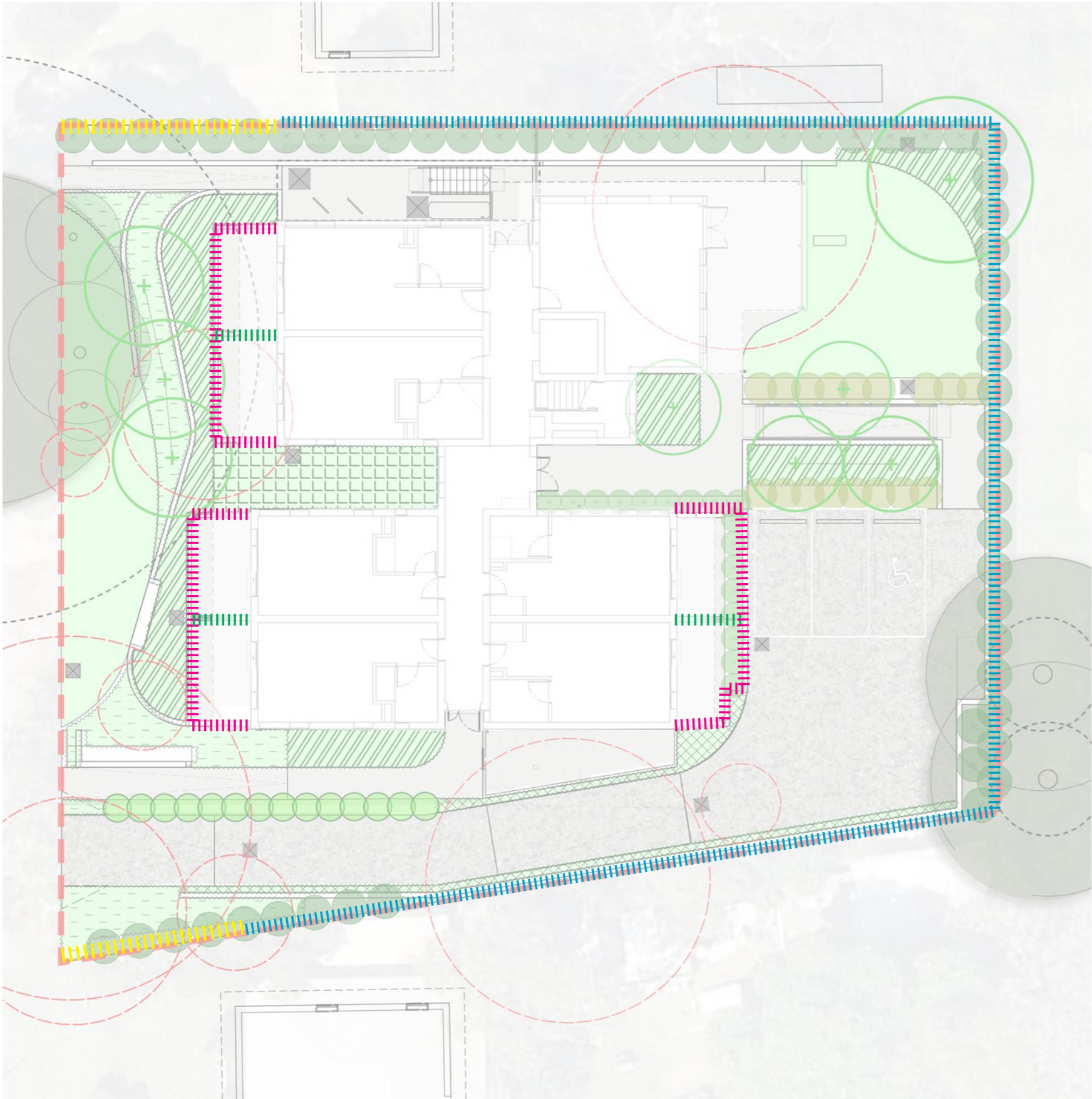
Refer to page 8 for tree and planting palette

FENCING STRATEGY AND MATERIALS SCHEDULE

DETERMINED by the NSW Land and Housing Corporation on:

Chen


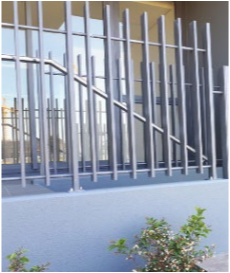


22 December 2023



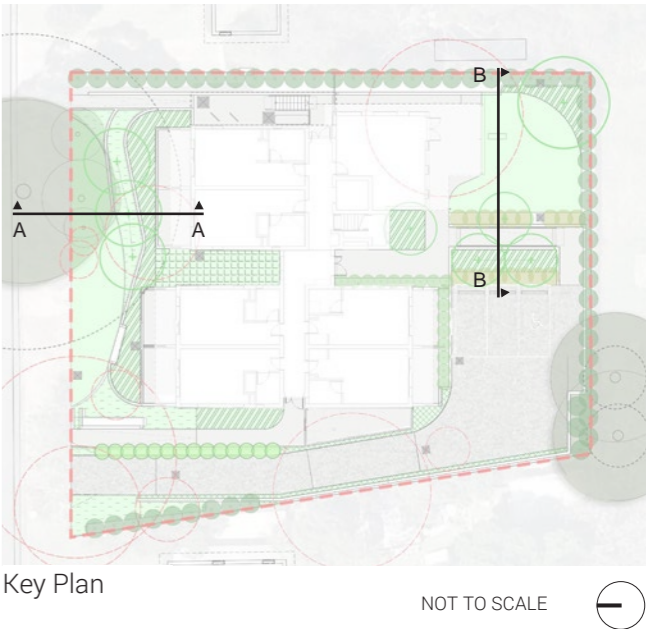
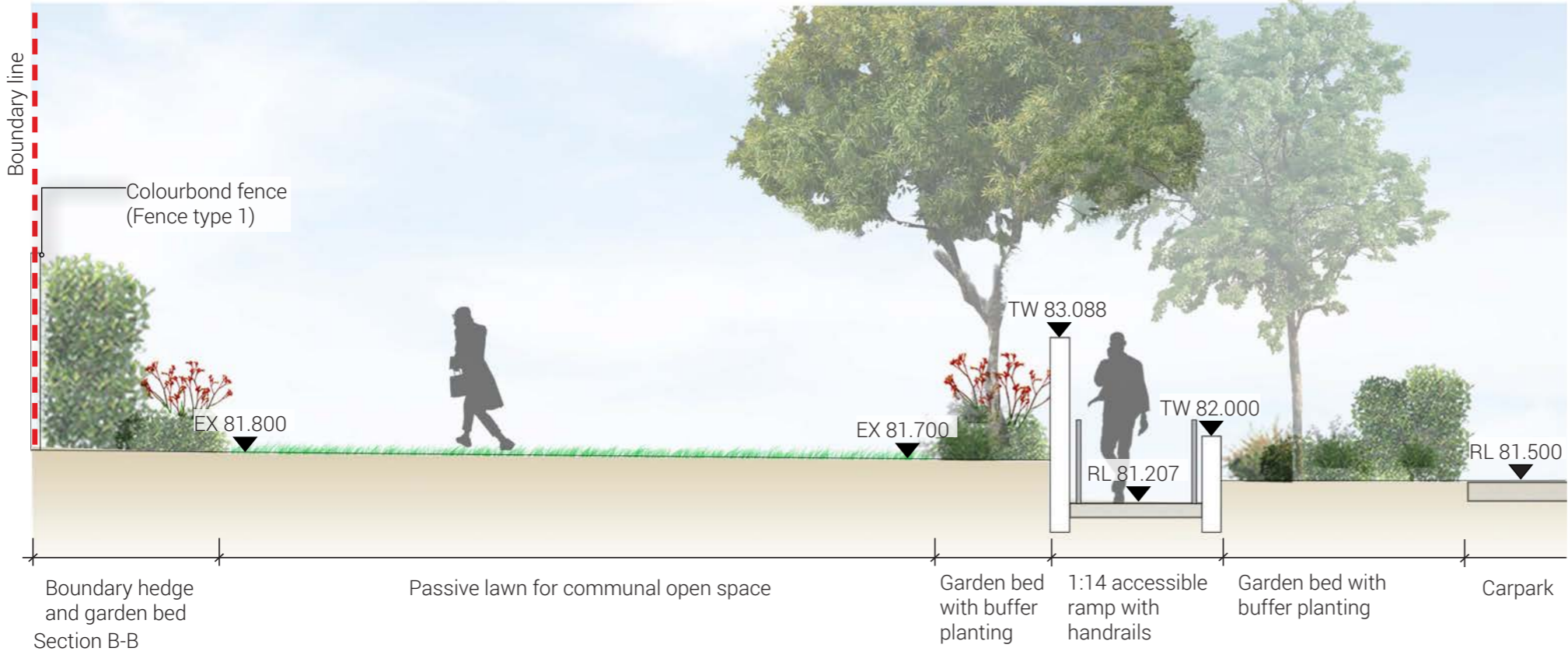
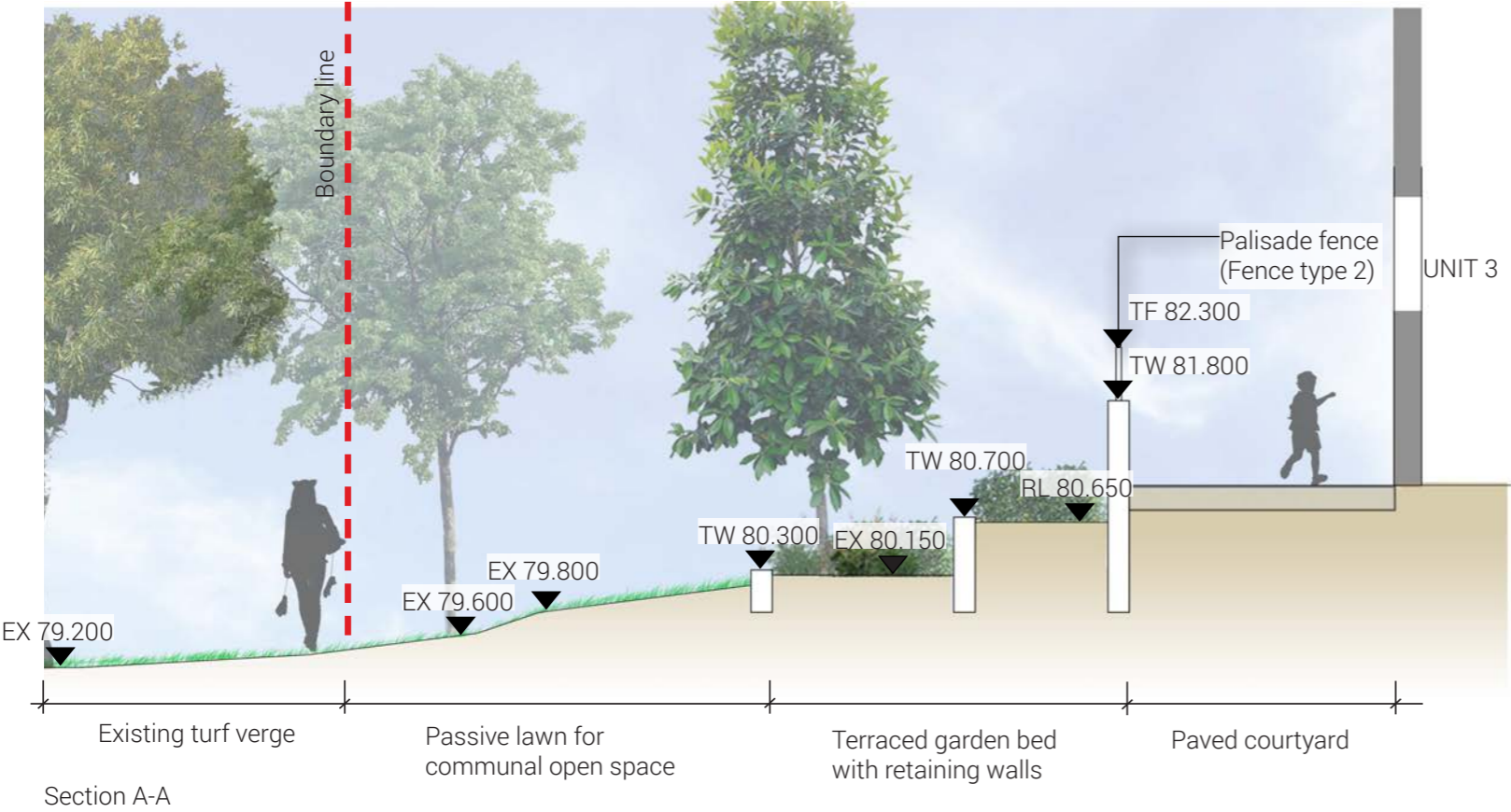
LEGEND:

- Fence Type 1: Colorbond fence (1800mm)
- Fence Type 2: Aluminium palisade fence on wall (500mm)
- Fence Type 3: Aluminium palisade fence (800mm)
- Fence Type 4: Aluminium slat fence on wall (500mm)



LAHC_PETERS AVENUE SELECTION SCHEDULE			
DESCRIPTION	DIMENSIONS	SPECIFICATION	IMAGE
FIXTURES AND FURNITURE			
FENCE TYPE 1	H: 1800mm	Description: Trimclad Colorbond steel fence Panel dimension: 2365mm L X 1800mm H Color: Monument grey Fixing: Refer to manufacture recommendation	
FENCE TYPE 2	H: 500mm	Description: Vertica steel slate fence panel on brick retaining wall Dimension: 500mm high Fixing: Refer to manufacture recommendation Colour: TBC+A9:E12	
FENCE TYPE 3	H: 800mm	Description: Vertica steel slate fence panel Dimension: 800mm high Fixing: Refer to manufacture recommendation Colour: TBC+A9:E12	
FENCE TYPE 4	H: 500mm	Description: Steel slat fence on brick retaining wall Dimension: 500mm H Color: Monument grey Fixing: Refer to manufacture recommendation	

LANDSCAPE KEY PLAN AND SECTIONS



PLANTING SCHEDULE

LAHC CAMDEN PLANTING SCHEDULE						
SYM	Botanical Name	Common Name	Mature Height	Pot Size	Spacing /m2	Quantity
TREES						
Ee	<i>Elaeocarpus eumundi</i>	Eumundi Quandong	10m	100L	As shown	2
Er	<i>Elaeocarpus reticulatus</i>	Ash Quandong	10m	100L	As shown	1
Li	<i>Lagerstroemia indica x fauriei 'Tuscarora'</i>	Crepe Myrtle	6m	100L	As shown	3
Mi	<i>Malus ioensis 'Plena'</i>	Flowering Crab Apple	5m	100L	As shown	1
Tl	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	12m	100L	As shown	1
SHRUBS						
Cv	<i>Callistemon viminalis 'Captain Cook'</i>	Weeping Bottlebrush	1.8m	150mm	As shown	17
Cwa	<i>Callistemon 'White Anzac'</i>	Bottlebrush 'White Anzac'	1m	150mm	As shown	17
Mct	<i>Melaleuca 'Claret Tops'</i>	Honey Myrtle	1m	150mm	As shown	14
Mp	<i>Myoporum parvifolium</i>	Boobialla	0.2m	150mm	1.5/linm	230
Sa	<i>Syzygium australe</i>	Brush Cherry	2m	200mm	As shown	57
Mix 1						
Clj	<i>Callistemon 'Little John'</i>	Bottlebrush 'Little John'	0.8m	150mm	6	71
Gt	<i>Gazania tomentosa</i>	Silver Leaf Gazania	0.2m	150mm	8	47
Lm	<i>Liriope muscari 'Just Right'</i>	Lilyturf	0.5m	150mm	6	71
Ll	<i>Lomandra longifolia 'Tanikia'</i>	Mat Rush	0.6m	150mm	6	71
Od	<i>Ozothamnus diosmifolius 'Coral Flush'</i>	Rice Flower	1m	150mm	6	53
Pbb	<i>Phormium 'Bronze Baby'</i>	Dwarf New Zealand Flax	0.6m	150mm	6	53
Mix 2						
Dc	<i>Dianella caerulea</i>	Blue Flax-lily	1m	150mm	4	91
De	<i>Doryanthes excelsa</i>	GyMEA Lily	2m	200mm	2	24
Lm	<i>Liriope muscari 'Just Right'</i>	Just Right	0.5m	150mm	6	136
Mp	<i>Myoporum parvifolium</i>	Boobialla	0.2m	150mm	8	97
Pp	<i>Pandorea pandorana 'Flat White'</i>	Wonga Wonga Vine	0.3m	150mm	8	97
Mix 3						
Ae	<i>Aspidistra elatior</i>	Cast Iron Plant	1.2m	150mm	4	31
Cm	<i>Clivia miniata</i>	Bush Lily	0.6m	150mm	6	39
Dsf	<i>Dichondra 'Sliver Falls'</i>	Dichondra	0.2m	150mm	8	31
Mp	<i>Viola hederacea</i>	Native Violet	0.2m	150mm	8	21
Px	<i>Philodendron xanadu</i>	Xanadu	1m	150mm	6	31
DRIVEWAY PLANTING						
Lm	<i>Liriope muscari 'Just Right'</i>	Just Right	0.5m	150mm	6	102
TURF						
	<i>Kakadu</i>	Kakadu	N/A	N/A	N/A	N/A

TREES



Elaeocarpus eumundi



Elaeocarpus reticulatus



Tristaniopsis laurina 'Luscious'



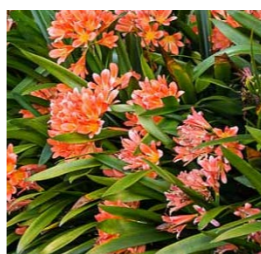
Lagerstroemia indica x fauriei 'Tuscarora'



Malus ioensis 'Plena'



Aspidistra elatior



Clivia miniata



Dichondra 'Sliver Falls'



Myoporum parvifolium



Philodendron xanadu

DETERMINED by the NSW Land and Housing Corporation on:


22 December 2023

Shrubs - Hedging & Screening



Syzygium australe



Melaleuca 'Claret Tops'



Callistemon 'White Anzac'



Callistemon viminalis



Myoporum parvifolium

MIX 1 - Planting to entry



Liriope muscari 'Just Right'



Lomandra 'Tanika'



Ozothamnus diosmifolius 'Coral Flush'



Gazania tomentosa



Phormium 'Bronze Baby'



Callistemon 'Little John'

MIX 2 - Medium and low planting



Liriope muscari 'Just Right'



Pandorea pandorana 'Flat White'



Dianella caerulea



Doryanthes excelsa



Myoporum parvifolium

MIX 3 - Shade Tolerant Planting



Aspidistra elatior



Clivia miniata



Dichondra 'Sliver Falls'



Myoporum parvifolium



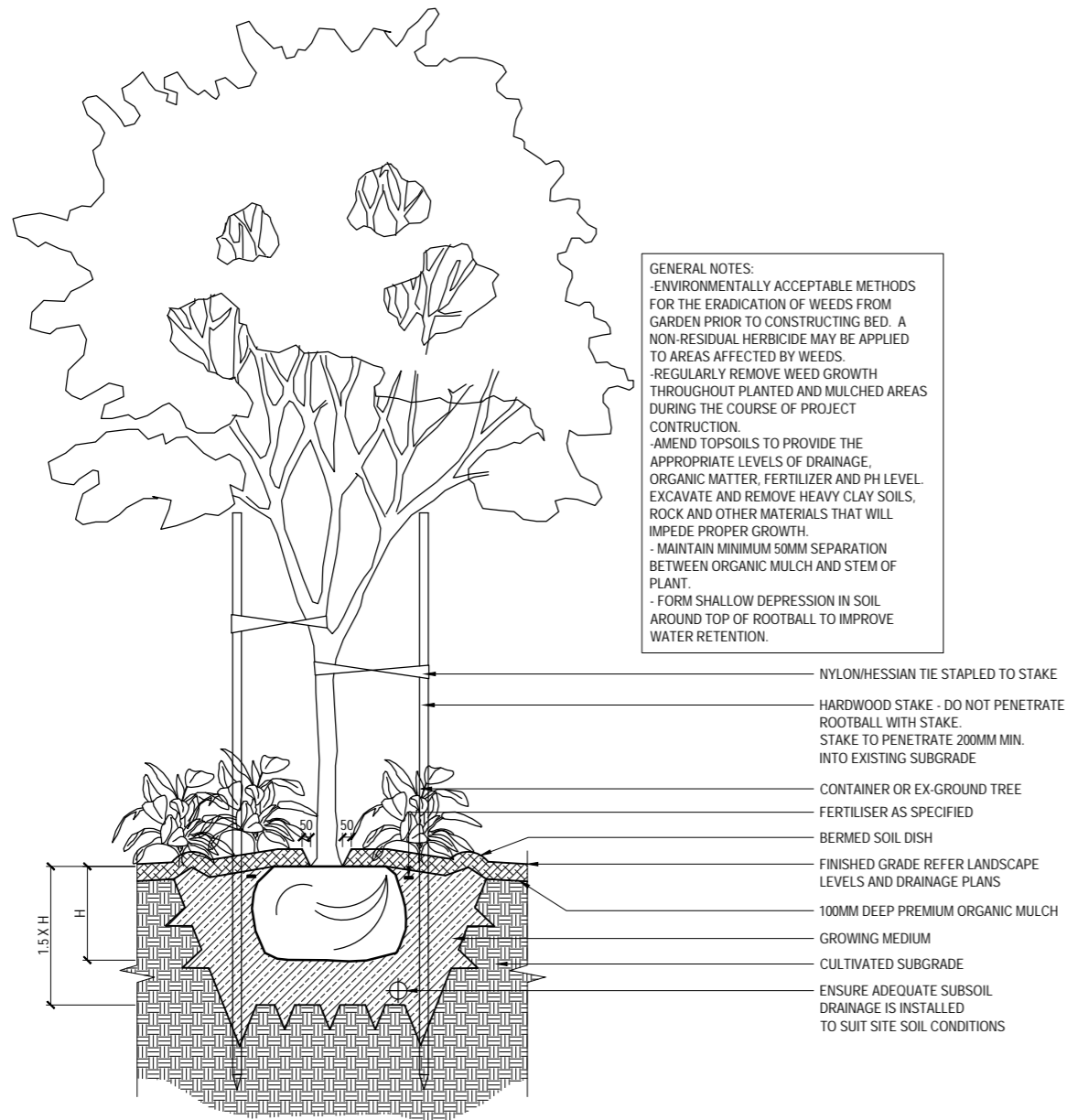
Philodendron xanadu

TYPICAL LANDSCAPE DETAILS

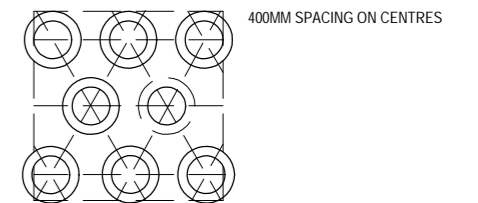
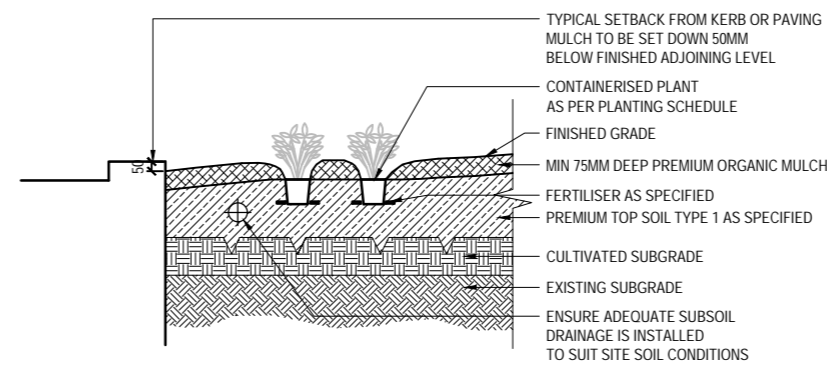
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Heck

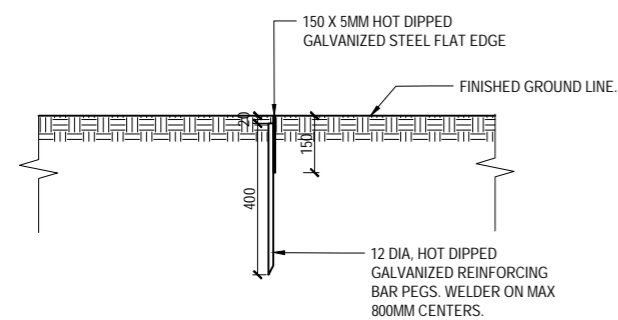
22 December 2023



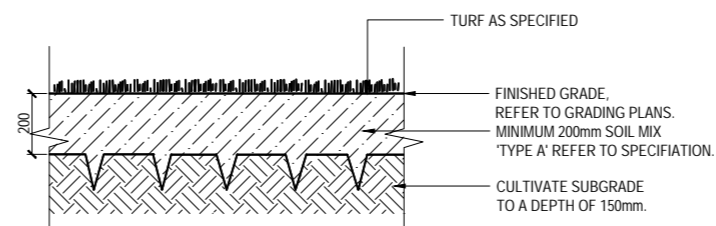
Detail 1: Tree Planting 1:40 @A3



Mass Planting Layout Detail 1:40@A3



Detail 2: Steel Edge Detail 1:20 @A3



Detail 4: Typical Turf Detail 1:20 @A3



Cardno (NSW/ACT) Pty Ltd | ABN 95 001 145 035
Level 9, The Forum, 203 Pacific Highway
St. Leonards, NSW 2065
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Web: www.cardno.com.au



SAM CRAWFORD ARCHITECT

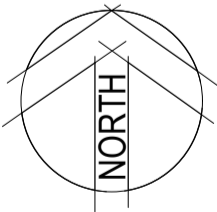
CAMDEN BOARDING HOUSE
LOT 17/DP 219782 LOT 18/DP 219782
3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

COVER SHEET,
LOCALITY PLAN AND
SCHEDULE OF DRAWINGS

SCHEDULE OF DRAWINGS	
DRAWING No.	DESCRIPTION
	GENERAL
80822228-CI-0001	COVER SHEET, LOCALITY PLAN AND SCHEDULE OF DRAWINGS
80822228-CI-0002	CIVIL CONSTRUCTION NOTES
	PLANS AND SCHEDULES
80822228-CI-0101	PROPOSED DRAINAGE STORMWATER PLAN
80822228-CI-0111	CUT AND FILL PLAN
80822228-CI-0121	SEDIMENTATION AND EROSION CONTROL PLAN
	STANDARD DETAILS
80822228-CI-0201	STORMWATER STANDARD DETAILS SHEET 1
80822228-CI-0202	STORMWATER STANDARD DETAILS SHEET 2
80822228-CI-0221	SEDIMENTATION AND EROSION CONTROL DETAILS



LOCALITY PLAN
NOT TO SCALE

XREFs:
CAD File: N:\Projects\80822228-3-5 Kelloway Avenue Camden\012_CIVIL Drawings\Build\80822228-CI-0001.dwg

3	12/12/2022	DRAFT DA	G.M.	C.F.	C.F.
2	30/08/2022	70% DRAFT PART 5	G.M.	C.F.	C.F.
1	20/05/2022	PRELIMINARY ISSUE	K.P.	C.F.	C.F.
Rev.	Date	Description	Des.	Verif.	Appd.

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Checked	K.P.	Date	2022						
Designed	K.P.	Date	2022						
Verified	C.F.	Date	2022						
Approved									
					Datum	AHD	Scale	NTS	Size
					Drawing Number	80822228-CI-0001			Revision
									3

DATE PLOTTED: 12 December 2022 6:38 PM BY : GORAN MILENKOVIC

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22 December 2023

GENERAL NOTES

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCIES IN THESE DOCUMENTS SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. THE CONTRACTOR SHALL CHECK AND BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS.
- G3. STABILITY OF THE BUILDING DURING CONSTRUCTION AND EXCAVATION IN THE VICINITY OF ADJACENT BUILDINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO PART OF THE STRUCTURE SHALL BE OVER STRESSED. APPROVAL OF ALL PROPOSALS MUST BE GRANTED BY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- G4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY EIGHT (48) HOURS BEFORE THE REINFORCEMENT IS COMPLETED. THE CONTRACTOR SHALL ALLOW TWO (2) HOURS AFTER THE COMPLETION OF THE REINFORCEMENT FOR THE ENGINEER'S INSPECTION. CONCRETE SHALL NOT BE ORDERED UNTIL THE REINFORCEMENT IS APPROVED BY THE ENGINEER.
- G5. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT SAA CODES, THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY AND THE SPECIFICATION.
- G6. NO CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
- G7. U.N.O. DENOTES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- G8. ALL PROPRIETARY PRODUCTS AND APPROVED EQUIVALENTS NOTED ON THE DRAWINGS SHALL BE SUPPLIED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

SITE PREPARATION

ROAD WORKS

- SP1. REMOVE TOP SOIL, ROOT AFFECTED SOIL, FILL AND OTHER DELETERIOUS MATERIAL TO EXPOSE NATURAL SUBGRADE.
- SP2. THE EXPOSED SUBGRADE SHOULD THEN BE PROOF ROLLED WITH AT LEAST EIGHT (8) PASSES OF A 10 TONNE MIN. DEAD WEIGHT ROLLER. ANY SOFT OR HEAVING AREAS SHOULD BE REMOVED TO A MAXIMUM DEPTH OF 300mm AND REPLACED WITH CLEAN WELL GRADED MATERIAL SUCH AS RIPPED OR CRUSHED SANDSTONE COMPACTED TO AT LEAST 100% OF STANDARD MAXIMUM DRY DENSITY (SMDD) AT ±2% OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH AS1289.
- SP3. COMPACTED FILL SHOULD BE PLACED IN LAYERS NOT EXCEEDING 150mm THICK AND COMPACTED TO AT LEAST 100% SMDD. FILL SHALL CONSIST OF CLEAN WELL GRADED MATERIAL SUCH AS RIPPED OR CRUSHED SANDSTONE WITH A MIN. CBR OF 15%.
- SP4. DENSITY TESTING SHALL BE CARRIED OUT TO LEVEL 2 CERTIFICATION IN ACCORDANCE WITH AS3798.
- SP5. SUB-BASE COURSE - TO BE DGS20 OR DGS40 OR RIPPED OR CRUSHED SANDSTONE WITH A CBR GREATER THAN 40%, MAXIMUM PARTICLE SIZE OF 60mm, WELL GRADED WITH A PLASTIC INDEX LESS THAN 10. COMPACT TO AN AVERAGE OF NOT LESS THAN 100% SMDD WITH A MINIMUM VALUE OF 98% SMDD.
- SP6. ALL KERBS TO BE FORMED BY KERB MACHINE AND NOT BY HAND. EXTERNAL FOOTPATHS/PAVEMENTS
- SP7. REMOVE TOP SOIL, ROOT AFFECTED SOIL, FILL AND OTHER DELETERIOUS MATERIAL TO EXPOSE NATURAL SUBGRADE.
- SP8. THE EXPOSED SUBGRADE SHOULD BE PROOF ROLLED. ANY SOFT OR HEAVING AREAS SHOULD BE REPLACED WITH CLEAN WELL GRADED MATERIAL. FILL IF REQUIRED, SHOULD BE CLEAN AND WELL GRADED. COMPACT TO 100% SMDD.

STORMWATER CONSTRUCTION NOTES

- SW1. ESTABLISH EXACT LOCATION AND INVERT OF EXISTING SERVICES PRIOR TO COMMENCING WORKS.
- SW2. ALLOW TO PAY ALL LOCAL AUTHORITY FEES AS REQUIRED FOR PERIODIC INSPECTIONS/APPROVALS.
- SW3. ALL WORK TO BE IN ACCORDANCE WITH THE LOCAL COUNCIL STORMWATER POLICY.
- SW4. MINOR FLOW ARI = 20 YEARS
MAJOR FLOW ARI = 100 YEARS
- PIPEWORK**
- SW5. ALL WORKS TO COMPLY TO AS3500
- SW6. ALL NEW PIPES 300 DIA. & LARGER SHALL BE REINFORCED CONCRETE CLASS 2 WITH RUBBER RING JOINTS. WHERE ANGLED THE MINIMUM RADIUS SHALL BE 152m. 150/225mm DIA. STORMWATER PIPES SHALL BE SEWER CLASS UPVC. MINIMUM PIPE SIZE FOR AN UNDERGROUND PIPE TO BE 150mm. MINIMUM PIPE GRADIENTS 1% U.N.O.
- SW7. ALL DRAINAGE TRENCHES SHALL BE IN SOUND EXCAVATED MATERIAL. IF SOFT SPOTS EXIST, REMOVE AND BACKFILL WITH COMPACTED ROAD BASE (DGS40) WITH A MINIMUM CBR OF 25 COMPACT TO 98% STANDARD MAXIMUM DRY DENSITY TO AS 1289 E1.1.
- SW8. ALL PIPES SHALL BE BEDDED ON 100mm SAND BED AND BACKFILLED WITH SAND TO 150mm ABOVE BARREL OF PIPE. THE REMAINDER OF THE TRENCH WILL BE BACKFILLED IN 150mm COMPACTED LAYERS IN GRANULAR FILL NON DISPERSIVE (EMERSON CLASS 5 OR 6) MATERIAL - NO TOP SOIL, GRASS, ROOTS, OR DELETERIOUS MATERIAL. COMPACT TO 98% STANDARD MAXIMUM DRY DENSITY AT ±2% OMC.
- SW9. PROVIDE A 100mm DIA. UPVC. SLOTTED DRAINAGE PIPE 3000 LONG WRAPPED IN FILTER FABRIC SOCK IN ALL TRENCHES ADJACENT TO INLET PIPES TO PITS & CONNECTED TO PIT.
- SW10. OTHER SUB SOIL DRAINAGE PIPES SHALL BE 100mm DIA. UPVC SLOTTED BEDDED AND BACKFILLED WITH 20mm GAUGE BLUE METAL. CLEAN OUTS SHALL BE EXTENDED TO THE SURFACE AND PROVIDED WITH A SCREWED COVER PLATE FLUSH WITH THE FINISHED SURFACE LEVEL.
- SW11. ALL CONCRETE PITS CONSTRUCTED SHALL BE BEDDED AS PER PIPE SPECIFICATION. PIT BASES SHALL BE SMOOTH CONTOURED WITH MASS CONCRETE BENCHING PROVIDE STEP IRONS AS PER PIT SCHEDULE, PROVIDE HEAVY, MEDIUM OR LIGHT DUTY GALVANISED GRATE COVERS AS SPECIFIED IN SCHEDULE. ALL DRAINAGE WORKS ARE TO BE COMPLETED TO THE SATISFACTION OF THE SUPERVISING CIVIL ENGINEER. ALL WORKS TO COMPLY TO AS3500. HEADWALLS SHALL BE PRECAST CONCRETE BY 'BCP PRECAST' OR EQUAL. ALL PITS SHALL BE PRECAST CONCRETE TYPE DPT FOR DEEP PITS BY ICON INDUSTRIES OR EQUAL. PRECAST DRAINAGE PITS DEEPER THAN 1800mm SHALL HAVE 150mm MIN. WALL THICKNESS. 20mm DIA. GALV. MS. STEP IRONS SHALL BE INSTALLED IN PITS 1200mm AND DEEPER.
- SW12. UNLESS NOTED OTHERWISE ON THE PLANS, PROVIDE THE FOLLOWING MIN. COVER TO PIPE:
- UNDER LANDSCAPE & PAVEMENT - 300mm
- UNDER ROAD (TRAFFIC) - 600mm

SEDIMENT RUN-OFF CONTROL NOTES

- SR1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE LANDCOM MANAGING URBAN STORMWATER MANUAL AND AS NECESSARY TO PREVENT RUN-OFF FROM SITE OF SEDIMENT RESULTING FROM THE WORKS. SUCH MEASURES SHALL ALSO COMPLY WITH REQUIREMENTS OF COUNCIL, LANDCOM "BLUE BOOK" AND EPA. THIS WORK SHALL BE DONE PRIOR TO ANY EARTHWORKS COMMENCING ON SITE.
- SR2. GRADE FINISHED SURFACE TO SHED WATER EVENLY WITHOUT CHANNELLING (UNTIL PIPED STORMWATER SYSTEM IS CONSTRUCTED). NOMINAL GRADIENTS FROM HIGH POINT OF 0.2%.
- SR3. MAINTAIN THE EROSION CONTROL DEVICES INDICATED ON THE DRAWINGS TO THE SATISFACTION OF THE SITE SUPERINTENDENT AND THE LOCAL AUTHORITIES.
- SR4. WHEN PROPOSED STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS AND ON ROAD.
- SR5. STREET PROTECTION WITH SHAKER EXIT GRIDS & STREET PIT INLET PROTECTION TO BE MAINTAINED FOR THE DURATION OF THE CONTRACT.

WARNING

UNLESS NOTIFIED TO THE CONTRARY IN WRITING, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY BREACHES OF THE PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997. PLEASE NOTE FAILURE TO IMPLEMENT OR MAINTAIN APPROPRIATE EROSION/SEDIMENT CONTROL MEASURES IS A BREACH OF THE ACT. SUCH A BREACH IS LIABLE FOR A ON-THE SPOT FINE AND /OR PENALTY.

CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SAA CODE AS3600, WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. CONCRETE QUALITY:

ELEMENT	SLUMP (MAX)	MAX AGG. SIZE	CEMENT TYPE	ADMIX.	CONCRETE GRADE
CONCRETE DRIVEWAYS	60	20mm	A	N/A	40 MPa
CONCRETE KERBS, RETAINING WALLS	80	20mm	A	N/A	32 MPa
FOOTPATHS	80	20mm	A	N/A	25 MPa
PIERS	80	20mm	A	N/A	25 MPa

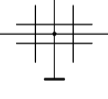
SUSPENDED CONCRETE FLOORS :-
MIN. CEMENT CONTENT = 300 kg/m³
MAX. PERMISSIBLE DRYING SHRINKAGE = 750 MICROSTRAIN AT 56 DAYS.

- C3. CLEAR CONCRETE COVER IN mm TO REINFORCEMENT U.N.O. SHALL BE AS FOLLOWS:-

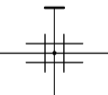
STRUCTURAL ELEMENT	REINFORCEMENT COVER			
	INTERNAL		EXTERNAL	
	TOP	BTM.	TOP	BTM.
FOOTINGS & PIERS	-	-	50	50
DRAINAGE PITS			50	
CONCRETE DRIVEWAY			40	

NOTES:

- CONCRETE POURED OVER A MEMBRANE ON THE GROUND IS INCLUDED AS INTERNAL.
 - CONCRETE EXPOSED TO CORROSIVE VAPOURS, CORROSIVE GROUND WATER, SEA WATER OR SPRAY IS TO HAVE REINFORCEMENT COVER AS NOTED ON THE DRAWINGS.
 - CONCRETE REQUIRING A FIRE RESISTANCE RATING SHALL HAVE REINFORCEMENT COVER AS NOTED ON THE DRAWINGS.
 - EXTERNAL ABOVE GROUND ELEMENTS ARE CLASSIFIED IN NEAR COASTAL ENVIRONMENT.
- C4. CONDUITS, PIPES, ETC., SHALL NOT BE PLACED IN THE CONCRETE COVER TO REINFORCEMENT AND NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
- C5. CONCRETE SIZES DO NOT INCLUDE THE THICKNESS OF APPLIED FINISHES.
- C6. THE DEPTH OF BEAMS IS GIVEN FIRST AND INCLUDES THE SLAB THICKNESS.
- C7. CONSTRUCTION JOINTS, WHERE NOT SHOWN, SHALL BE LOCATED TO THE APPROVAL OF THE SUPERINTENDENT.
- C8. FORMWORK SHALL REMAIN IN POSITION FOR THE TIME SPECIFIED. WHERE SLABS AND BEAMS ARE TO SUPPORT MASONRY OVER, FORMWORK AND PROPS MUST BE REMOVED PRIOR TO THE CONSTRUCTION OF MASONRY.
- C9. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED. THE VIBRATOR SHALL NOT BE USED TO SPREAD CONCRETE.
- C10. CONCRETE SHALL BE CURED IN ACCORDANCE WITH AS3600 WITH A PRODUCT COMPATIBLE WITH THE APPLIED FINISHES. CURING COMPOUNDS SHALL COMPLY WITH AS3799. PVA BASED CURING COMPOUNDS ARE NOT ACCEPTABLE
- C11. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C12. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C13. SPLICES IN THE MAIN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN. SPLICES IN THE DISTRIBUTION REINFORCEMENT MAY BE POSITIONED AS NECESSARY WITH SPLICES OF SUFFICIENT LENGTH TO DEVELOP THE FULL STRENGTH OF THE BARS. MINIMUM LAPS TO FABRIC SHALL BE TO OVER LAP TWO CROSS WIRES PLUS 50mm U.N.O. REINFORCEMENT SHALL BE SECURELY TIED AT ALL LAPS AND INTERSECTIONS WITH 1.25mm BLACK ANNEALED WIRE. THE WRITTEN APPROVAL OF THE SUPERINTENDENT SHALL BE OBTAINED FOR OTHER SPLICES WHERE THE LAP LENGTH IS NOT SHOWN. IT SHALL DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C14. ALL UNSUPPORTED BARS SHALL BE TIED IN A TRANSVERSE DIRECTION WITH N12-300 U.N.O.
- C15. REINFORCEMENT SHALL BE SUPPORTED ON APPROVED PLASTIC OR PLASTIC TIPPED WIRE STOOLS AT NOT MORE THAN 600mm CENTRES BOTHWAYS IN SLABS AND AT 1000mm CENTRES IN BEAMS.
- C16.



DENOTES MAIN WIRES OF RECTANGULAR FABRIC TO AS4671.



DENOTES SQUARE FABRIC TO AS4671

SL..... DENOTES GRADE 500 DEFORMED WIRE REINFORCING SQUARE FABRIC OF DUCTILITY CLASS L TO AS4671.

RL..... DENOTES GRADE 500 DEFORMED WIRE REINFORCING RECTANGULAR FABRIC OF DUCTILITY CLASS L TO AS4671.

R..... DENOTES GRADE 250 ROUND BARS OF DUCTILITY CLASS N TO AS4671

N..... DENOTES GRADE 500 DEFORMED BARS OF DUCTILITY CLASS N TO AS4671.

S..... DENOTES GRADE 250 DEFORMED BARS OF DUCTILITY CLASS N TO

- C17. FABRIC SHALL BE SUPPLIED IN FLAT SHEETS, ROLLS WILL NOT BE ACCEPTED
- C18. TYPICAL REINFORCEMENT NOTATION:-
S_{N24-200} INDICATES
S..... DENOTES NUMBER OF BARS REQUIRED
N..... DENOTES GRADE OF REINFORCEMENT
24..... DENOTES BAR DIAMETER IN MILLIMETRES
200... DENOTES BAR SPACING IN MILLIMETRES
TYPICAL ABBREVIATIONS:-
B..... DENOTES BARS IN BOTTOM LAYER
T..... DENOTES BARS IN TOP LAYER
ALT.... DENOTES BARS ALTERNATING
NF DENOTES BARS IN NEAR FACE
FF DENOTES BARS IN FAR FACE
EF DENOTES BARS IN EACH FACE
- C19. FOR SLAB FALLS, CHAMFERS, REGLETS, DRIP GROOVES, ETC., REFER TO THE ARCHITECT'S DRAWINGS.
- C20. LAP LENGTHS FOR DEFORMED BARS AS FOLLOWS:

BAR TYPE AND SIZE	VERTICAL BARS	HORIZONTAL BARS WITH MORE THAN 300mm OF CONCRETE BELOW BAR	OTHER LOCATIONS	90° COG LENGTH
N12	500	550	500	200
N16	700	800	700	200
N20	1000	1250	1000	250
N24	1200	1500	1200	300
N28	1400	1750	1400	350

BLOCK RETAINING WALLS

- RW1. VERTICAL RODS FROM BASE ARE TO BE FIXED USING TEMPLATES TO ENSURE ACCURATE SPACING AND POSITIONING.
- RW2. CONCRETE BLOCKS TO BE GRADE 15 IN ACCORDANCE WITH AS/NZS4455.
- RW3. MORTAR 1:1:6 CEMENT:LIME:FINE AGGREGATE, SITE MIXED TO HAVE A COMPRESSIVE STRENGTH AT 12 DAYS OF 11 MPa.
- RW4. ALL HOLES TO BE CLEANED OF MORTAR AT END OF EACH DAY.
- RW5. GROUT: F_c = 20 MPa
SLUMP: = 230 MAXIMUM
AGGREGATE: = 10mm.
- RW6. ALL CORE HOLES TO BE VIBRATED TO ENSURE COMPACTION, USING A DEFORMED RODDING BAR.
- RW7. FILL CORES TO 1500 MAX. HEIGHT IN ANY ONE POUR. STOP POUR 50 BELOW TOP OF BLOCK. FINAL LEVELS FLUSH WITH TOP OF BLOCK.
- RW8. PROVIDE EXPANSION JOINTS AS DETAILED.
- RW9. DO NOT BACKFILL UNTIL RESTRAINING SLAB OVER & BASEMENT SLAB HAVE BEEN CAST & CURED. BACKFILLING TO BE BLUEMETAL AS DETAILED, WITH PROVISION OF CORE DRAIN. REFER TO HYDRAULIC ENGINEER'S DETAILS FOR SUBSOIL DRAINAGE REQUIREMENT.
- RW10. TANKING, SEALING AND DRAINAGE TO ARCHITECTS DETAILS.
- RW11. ALLOW FOR CLEAN-OUT BLOCKS AT BASE, IN ACCORDANCE WITH AS3700.



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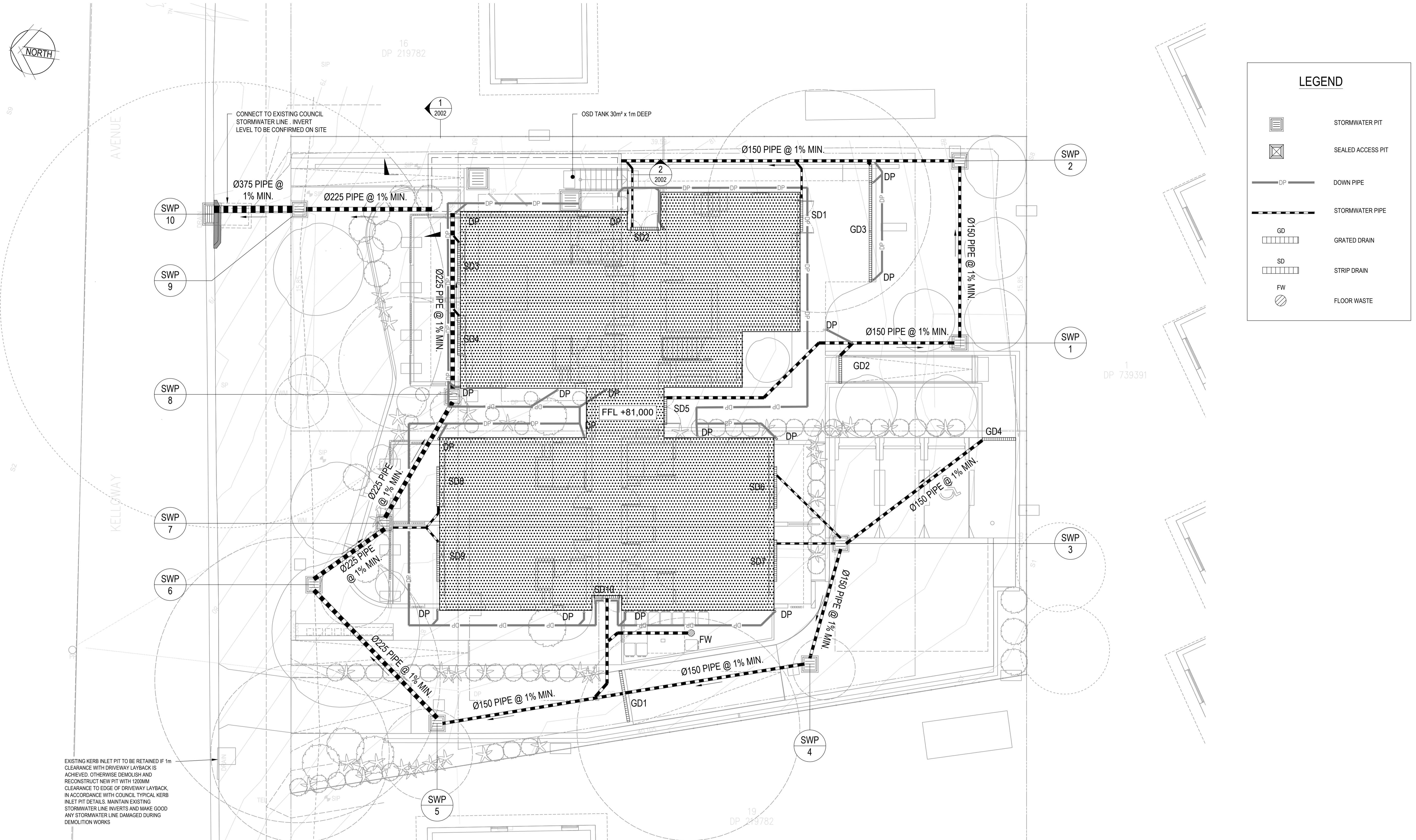
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Drawn G.M. Date APRIL 2022 Client SAM CRAWFORD ARCHITECT
Checked K.P. Date APRIL 2022 Project CAMDEN BOARDING HOUSE
Designed K.P. Date APRIL 2022 LOT 17/DP 219782 LOT 18/DP 219782
Verified C.F. Date APRIL 2022 3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW
Approved Title CIVIL CONSTRUCTION NOTES

Status FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION PURPOSES
Datum AHD Scale N/A Size A1
Drawing Number 80822228-CI-0002 Revision 3



PROPOSED DRAINAGE STORMWATER GROUND FLOOR PLAN
SCALE 1:100

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Drawn G.M.	Date APRIL 2022	Client	SAM CRAWFORD ARCHITECT			
Checked K.P.	Date APRIL 2022	Project	CAMDEN BOARDING HOUSE LOT 17/DP 219782 LOT 18/DP 219782 3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW		Status	FOR APPROVAL
Designed K.P.	Date APRIL 2022		NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Verified C.F.	Date APRIL 2022	Title	PROPOSED DRAINAGE STORMWATER GROUND FLOOR PLAN		Datum	A1
Approved			Drawing Number		Revision	
			80822228-CI-0101			5

DATE PLOTTED: 31 August 2023 8:26 AM BY: HOWITT, BEN

XREFs:
CAD File: U:\304000\61\structures\28_3-5_Kelloway Avenue Camden\012_CIVIL\Drawings\Build\8082228-CI-0102.dwg

22 December 2023

DETERMINED by the NSW Land and Housing Corporation on:

STORMWATER PIT SCHEDULE								
SWP No.	Pit Cover Level (RL)	Pit Invert Level (IL)	Depth (mm)	Internal Pit Size	Pit Type	Cover Type	Cover Class	Remarks
SWP-1	81.900	81.450	450	450x450	SIP	GRATE	A	
SWP-2	82.100	81.350	750	450x450	SIP	GRATE	A	
SWP-3	81.500	81.050	450	450x450	SIP	SOLID	D	
SWP-4	81.500	80.950	550	450x450	SIP	GRATE	D	
SWP-5	81.000	80.500	500	600X600	SIP	GRATE	D	
SWP-6	80.400	79.900	500	600X600	SIP	GRATE	A	
SWP-7	80.600	79.850	750	600X600	SIP	GRATE	A	
SWP-8	80.400	79.750	650	600X600	SIP	GRATE	A	
SWP-9	79.200	78.500	700	600X600	SIP	GRATE	A	
SWP-10	78.800	TBC	-	-	KIP	GRATE	A	EXISTING STORMWATER PIT 1.8 m LINTEL

GRADED DRAIN TYPE SCHEDULE					
LABEL	TYPE	MINIMUM INTERNAL DEPTH	INTERNAL WIDTH	GRATE LOAD CLASS	REMARK
GD1	"S200K POWER DRAIN" BY ACO DRAIN OR SIMILAR APPROVED	200	200	D	HEELPROOF ANTI- SLIIP OR SIMILAR APPROVED
GD2	"S200K POWER DRAIN" BY ACO DRAIN OR SIMILAR APPROVED	200	200	C	HEELPROOF ANTI- SLIIP OR SIMILAR APPROVED
GD3	"S200K POWER DRAIN" BY ACO DRAIN OR SIMILAR APPROVED	200	200	B	HEELPROOF ANTI- SLIIP OR SIMILAR APPROVED
GD4	"S200K POWER DRAIN" BY ACO DRAIN OR SIMILAR APPROVED	200	200	C	HEELPROOF ANTI- SLIIP OR SIMILAR APPROVED

4	31/08/2022	DA ISSUE		B.H	J.B J.B
3	12/12/2022	DRAFT DA		G.M	C.F. C.F.
2	30/08/2022	70% DRAFT PART 5		G.M	C.F. C.F.
1	20/05/2022	PRELIMINARY ISSUE		K.P	C.F. C.F.
Rev.	Date	Description		Des.	Verif. Appd.



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Checked	K.P.	Date	APRIL 2022
Designed	K.P.	Date	APRIL 2022
Verified	C.F.	Date	APRIL 2022
Approved			

Client	SAM CRAWFORD ARCHITECT		
Project	CAMDEN BOARDING HOUSE LOT 17/DP 219782 LOT 18/DP 219782 3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW		
Title	PROPOSED DRAINAGE STORMWATER PITS AND GRADED DRAINS SCHEDULE		

Status NOT TO BE USED FOR CONSTRUCTION PURPOSES			
Datum	AHD	Scale	AS SHOWN
Size	A1		
Drawing Number	80822228-CI-0102		Revision 4



1. CUT AND FILL VOLUMES ARE INCLUSIVE OF ALL OPERATIONS, BUT INDICATIVE ONLY. CONTRACTOR TO SATISFY ITSELF ON REQUIRED EARTHWORKS QUANTITIES.

	CUT BETWEEN 1.5m AND 2.0m		FILL LESS THAN 0.25m
	CUT BETWEEN 1.0m AND 1.5m		FILL BETWEEN 0.25m AND 0.5m
	CUT BETWEEN 0.5m AND 1.0m		FILL BETWEEN 0.5m AND 1.0m
	CUT BETWEEN 0.25m AND 0.5m		FILL BETWEEN 1.0m AND 1.5m
	CUT LESS THAN 0.25m		

[illegible]

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Approved	

Client	SAM CRAWFORD ARCHITECT
Project	CAMDEN BOARDING HOUSE LOT 17/DP 219782 LOT 18/DP 219782 3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW
Title	CUT AND FILL PLAN

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES
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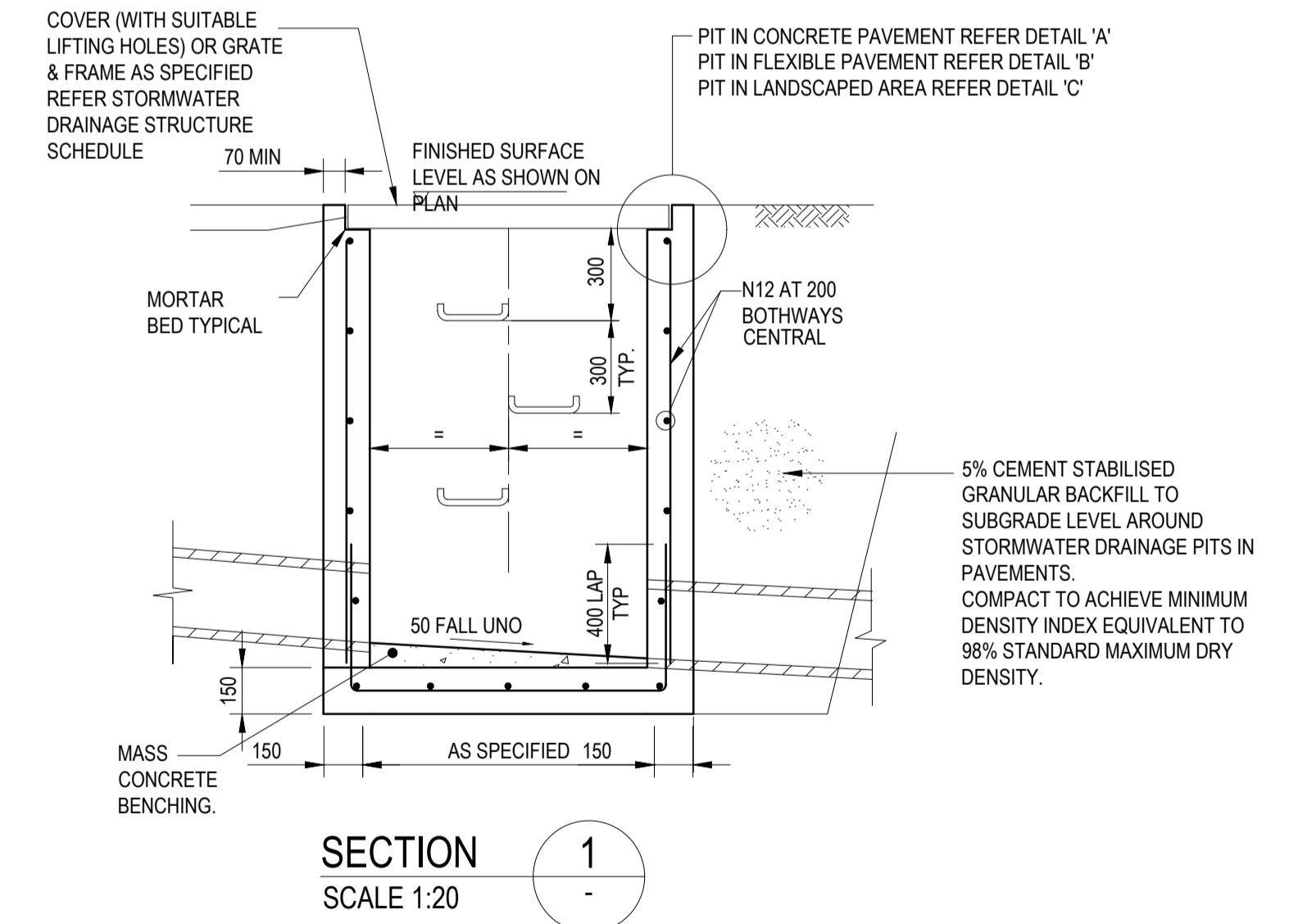
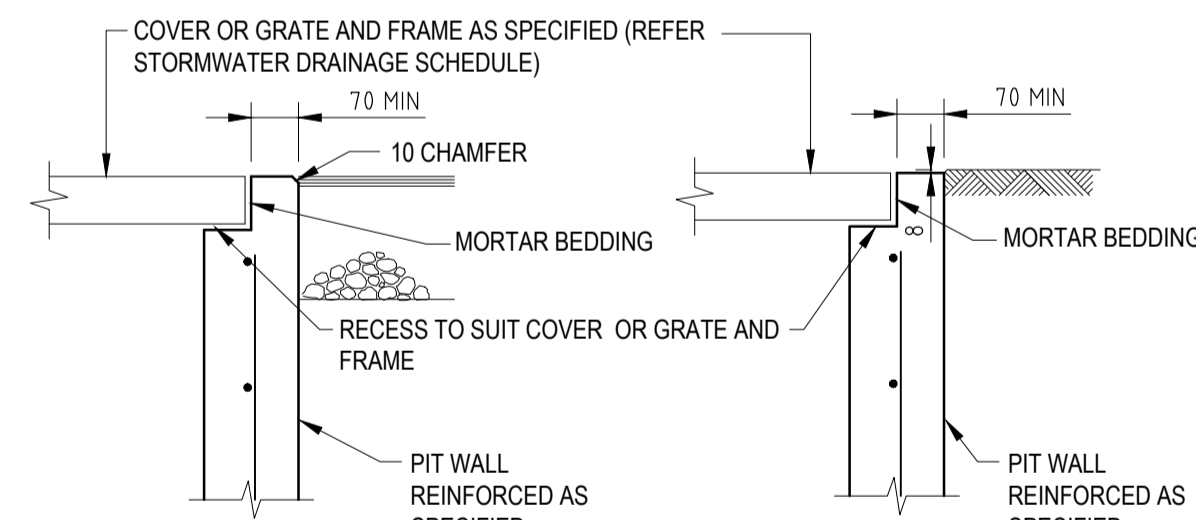
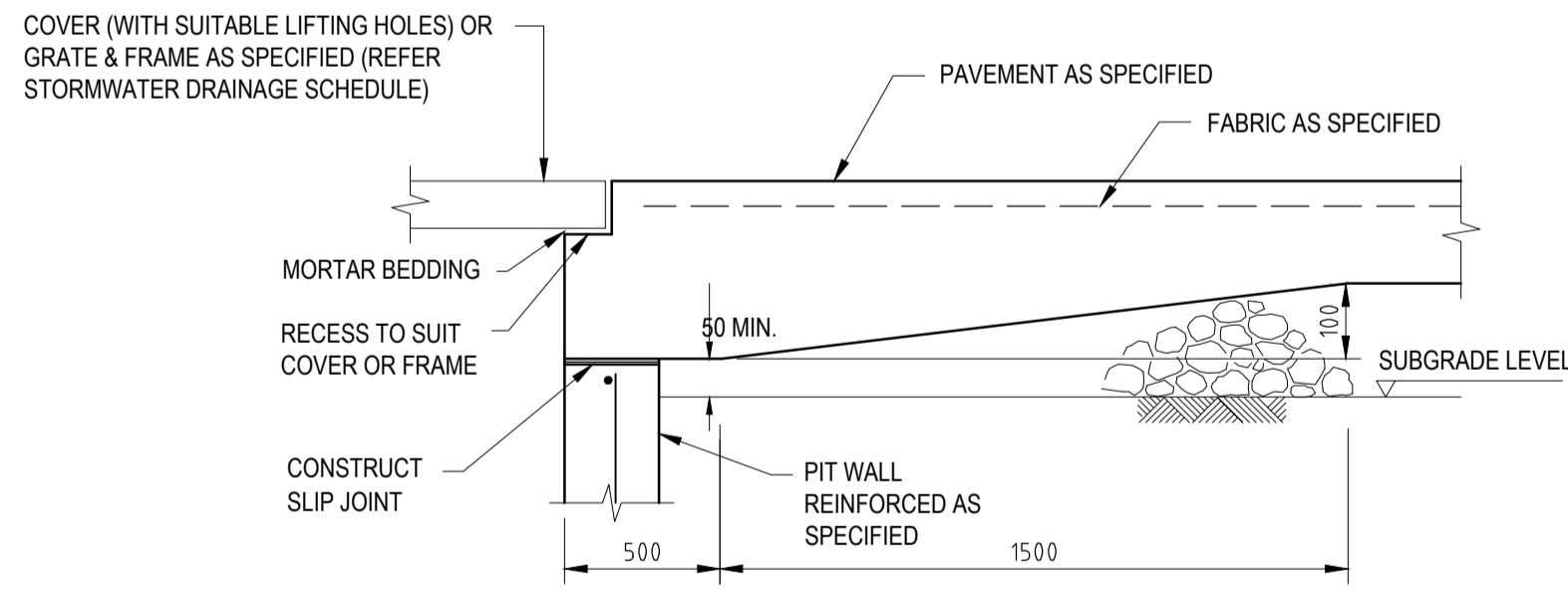
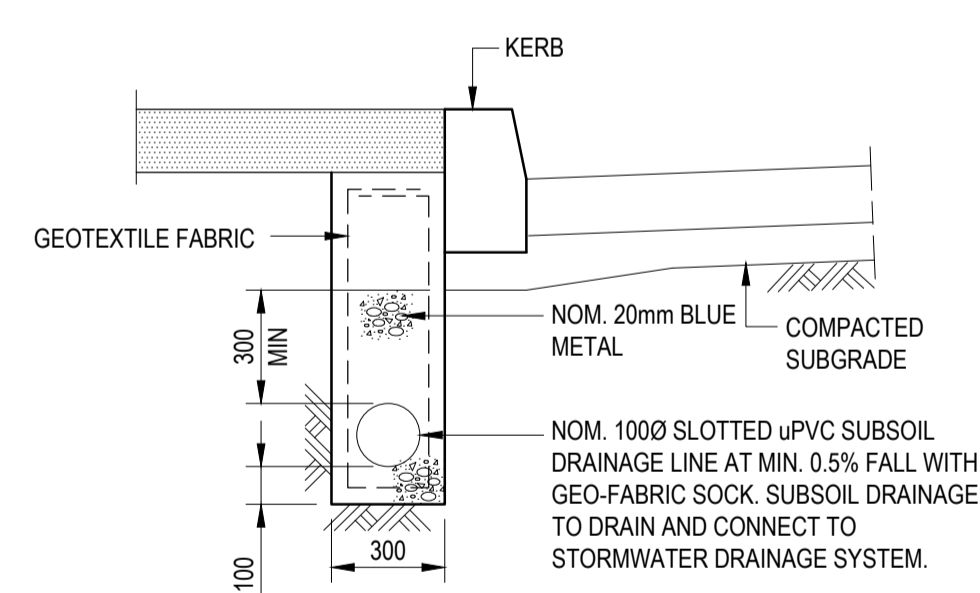
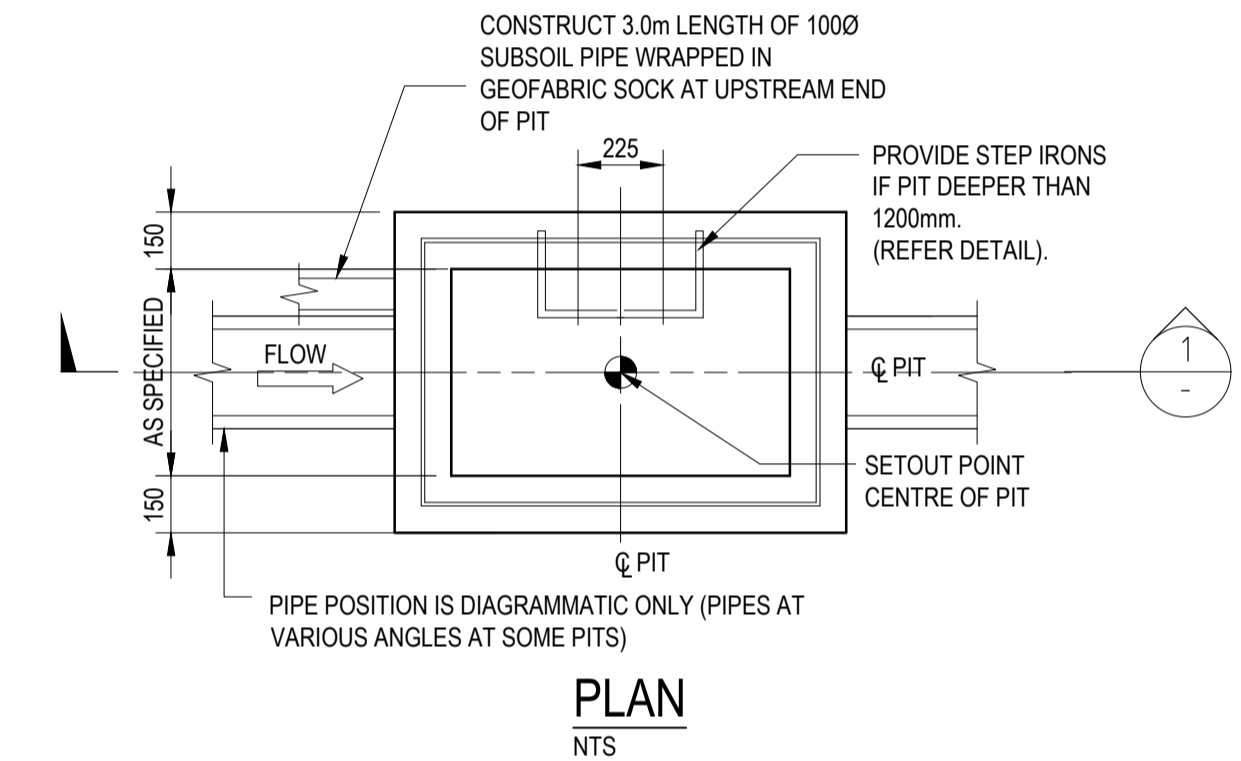
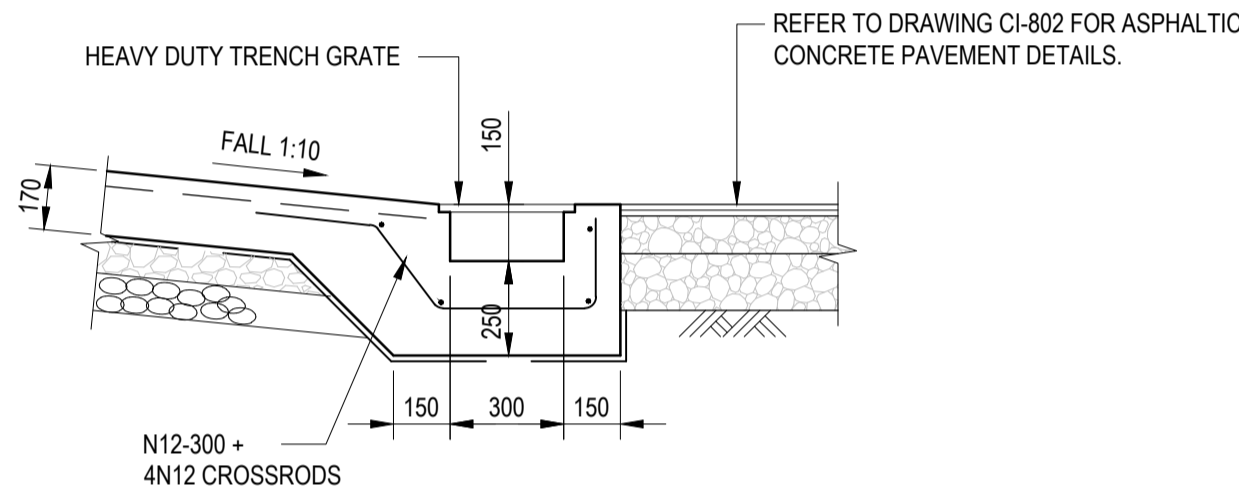
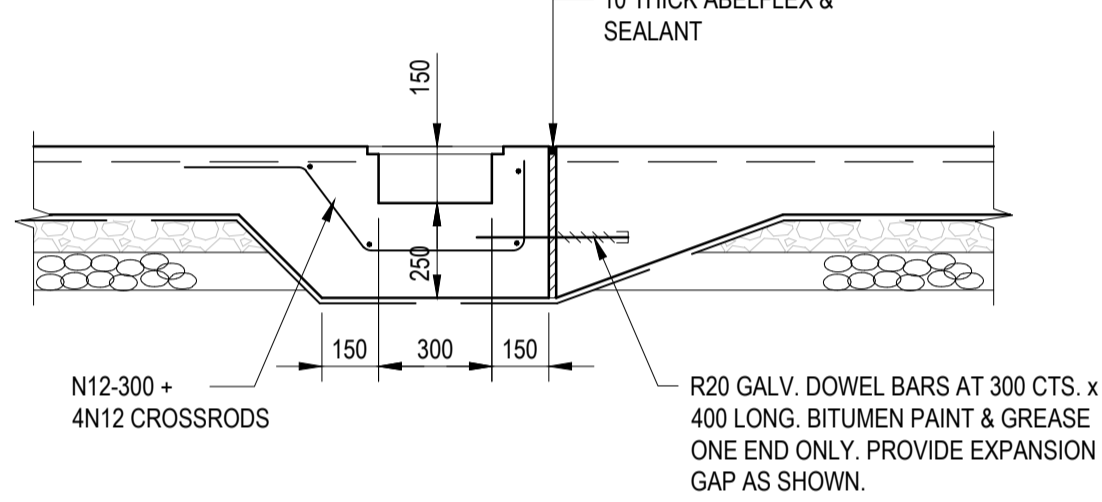
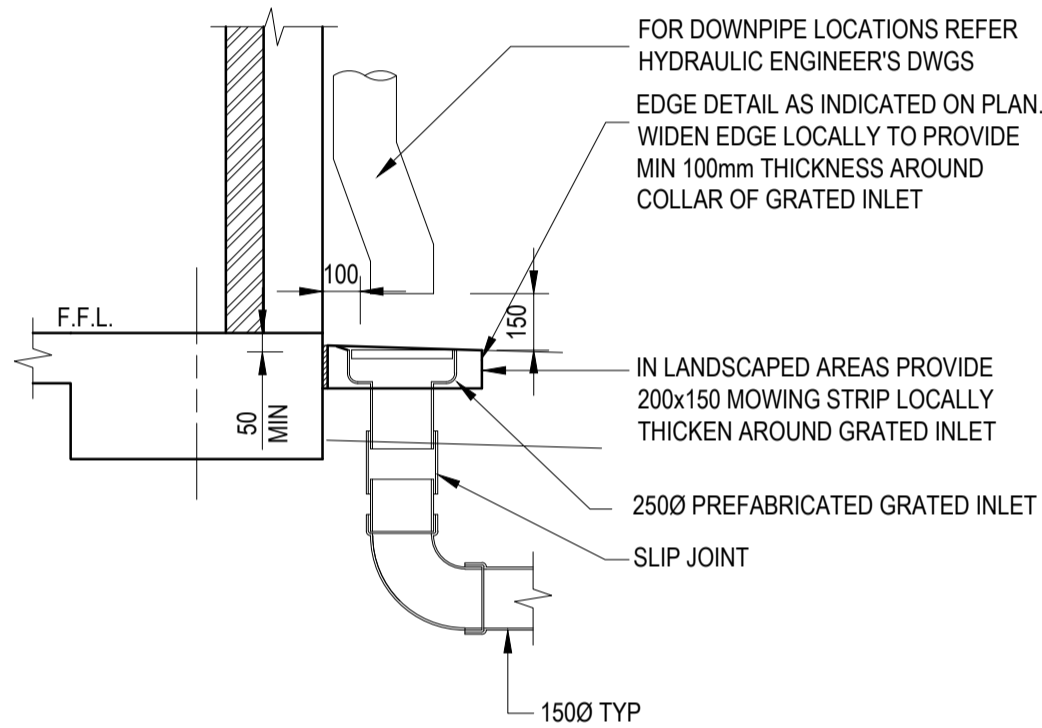
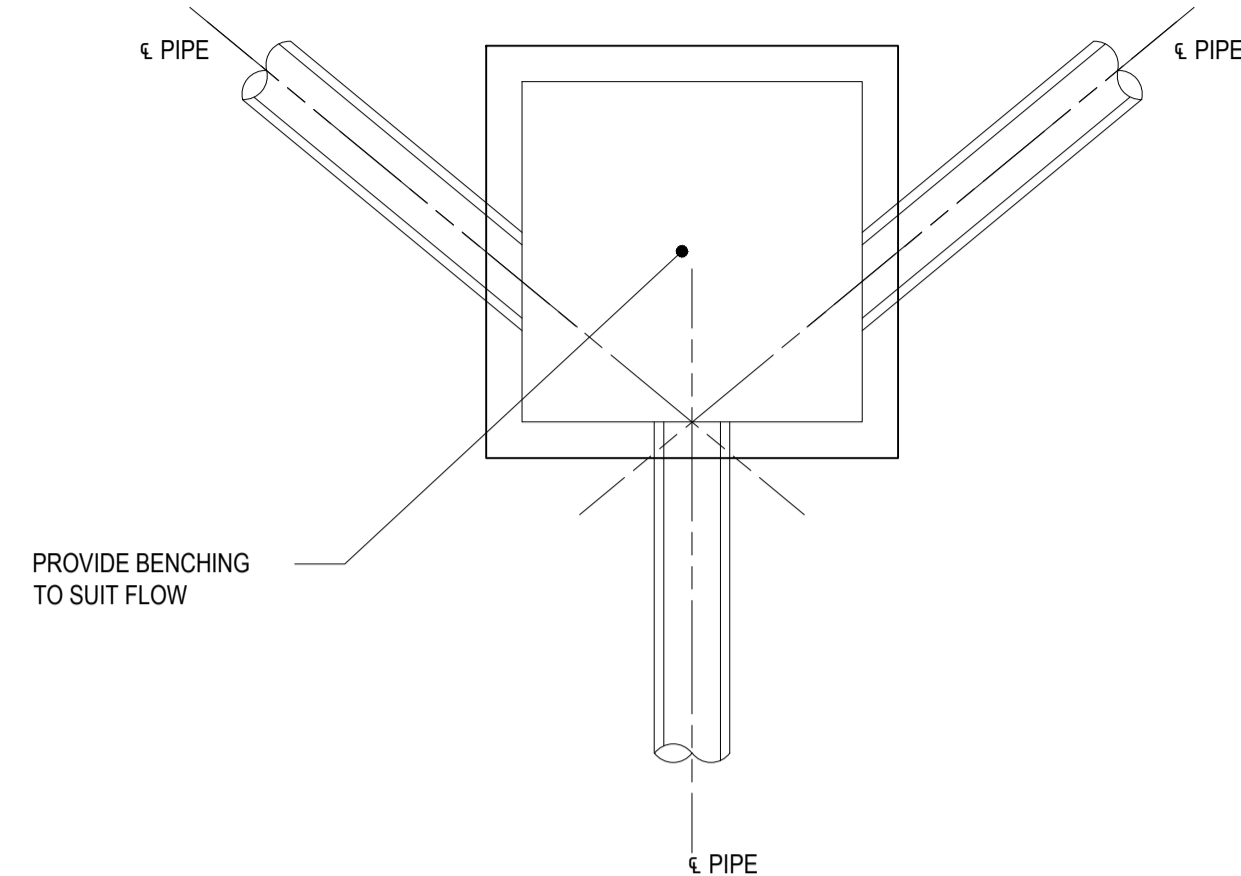
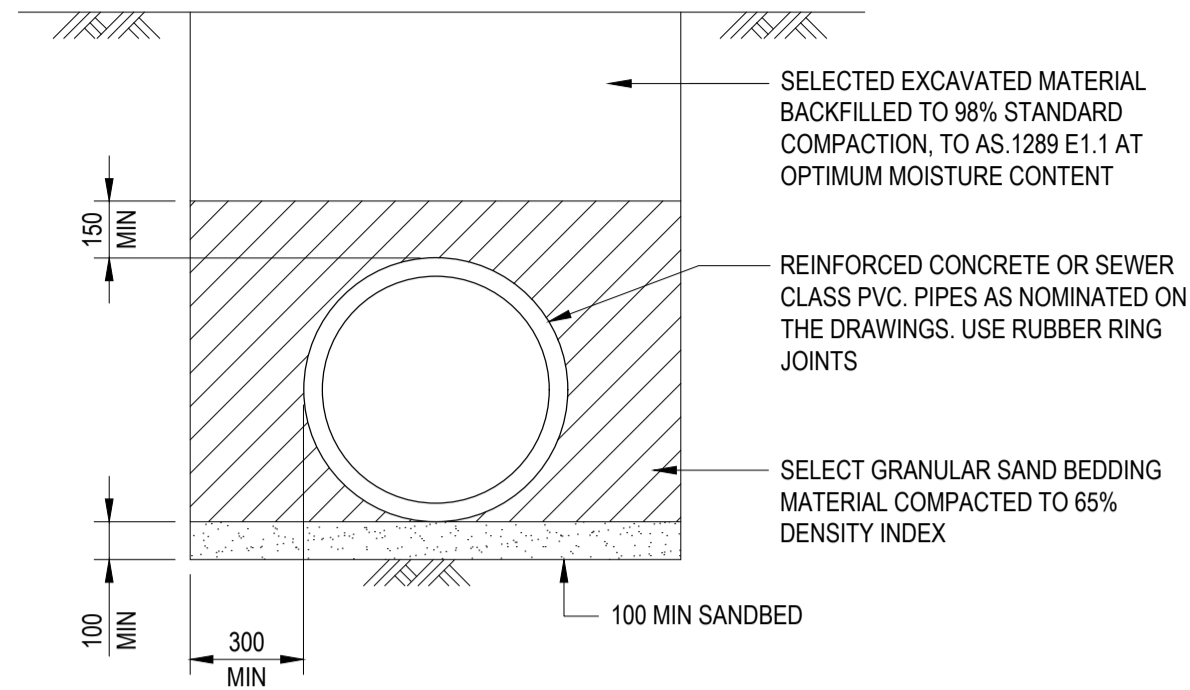
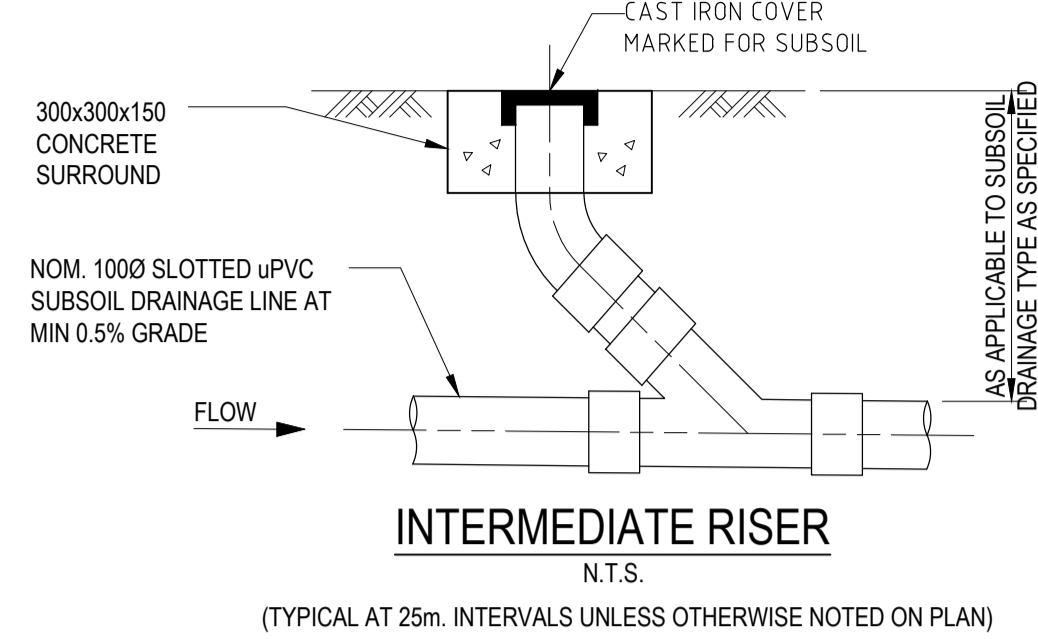
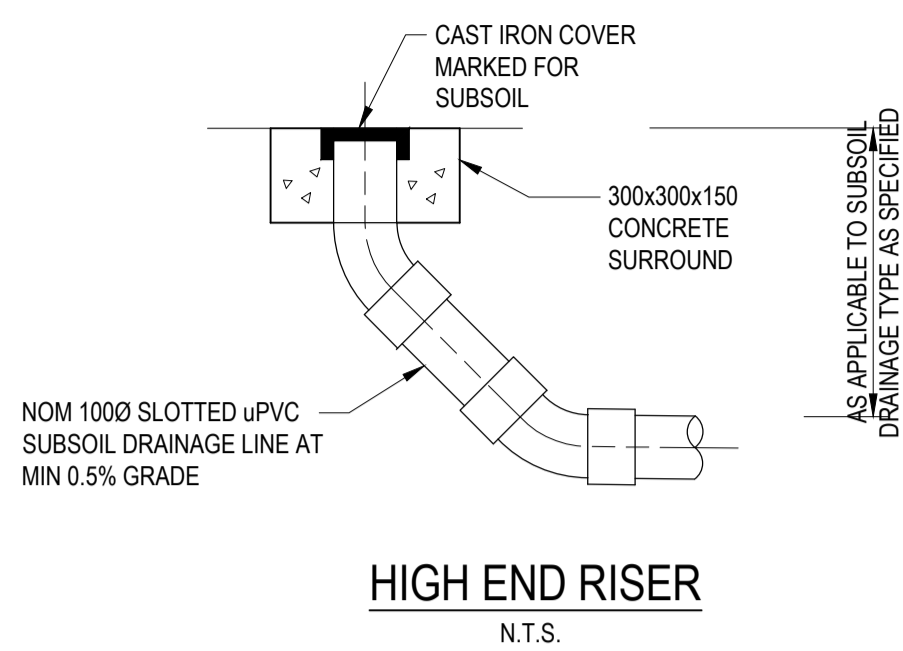
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AHD	AS SHOWN	A1
Drawing Number		Revision
80822228-CI-0111		1

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Date		Scale					
AHD		AS SHOWN		A1			
Drawing Number						Revision	
80822228-CI-0121						3	

DATE PLOTTED: 12 December 2022 6:57 PM BY: GORAN MILENKOVIC

22 December 2023

DETERMINED by the NSW Land and Housing Corporation on:



XREFs: CAD File: N:\Projects\08172228-3-5 Kelloway Avenue Camden\012_CivilDrawings\Build\8082228-CI-0201.dwg

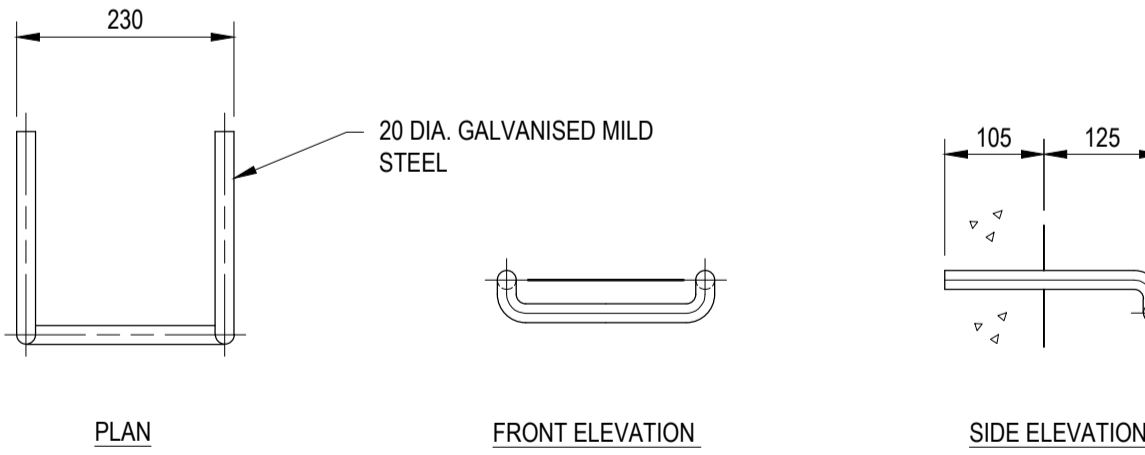
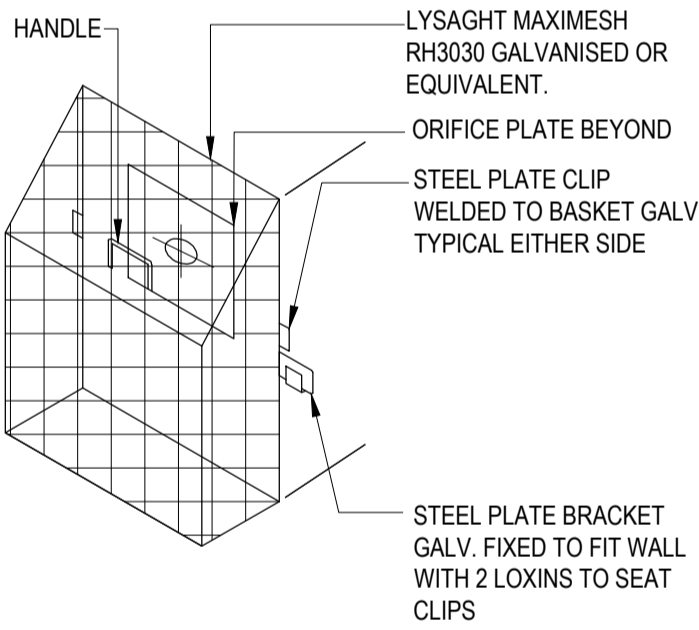
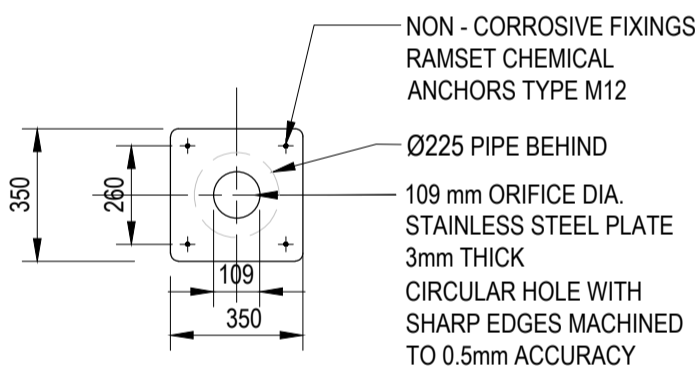
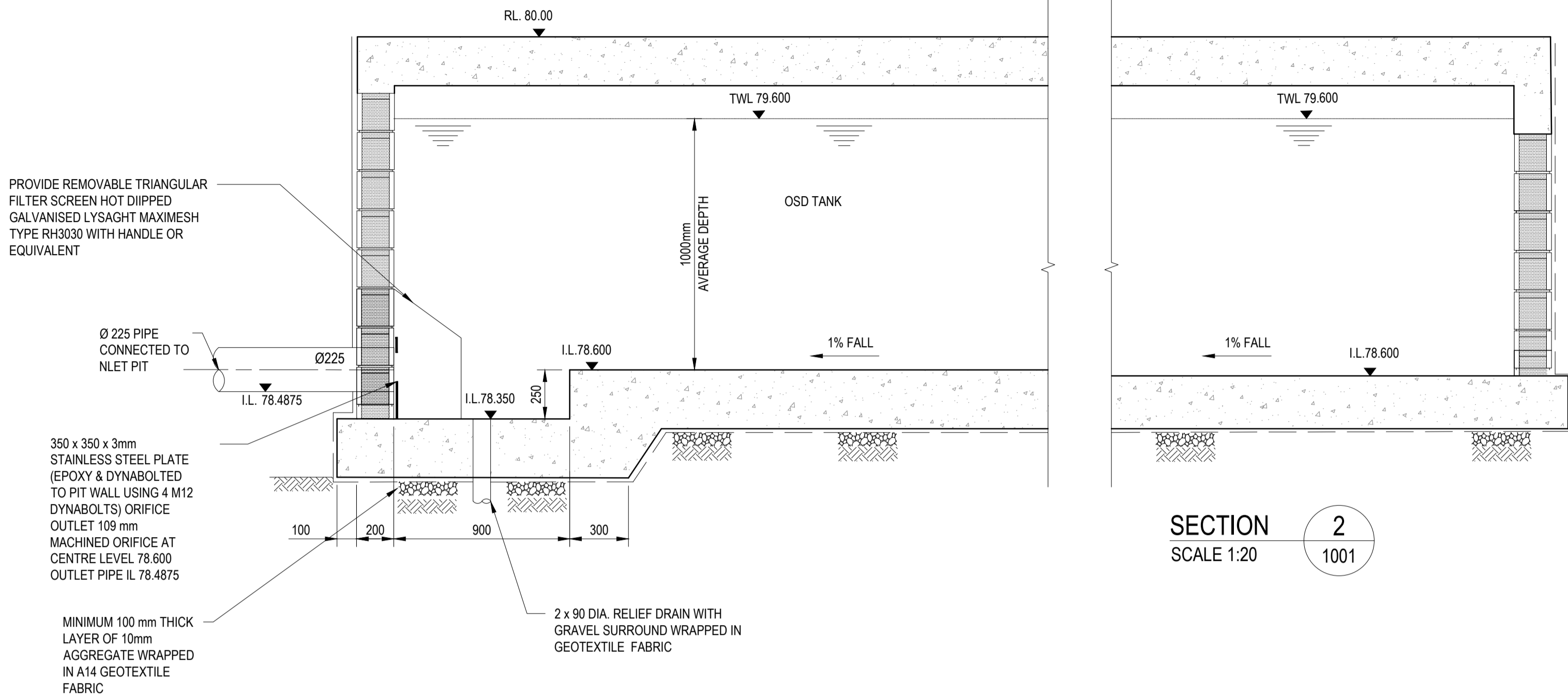
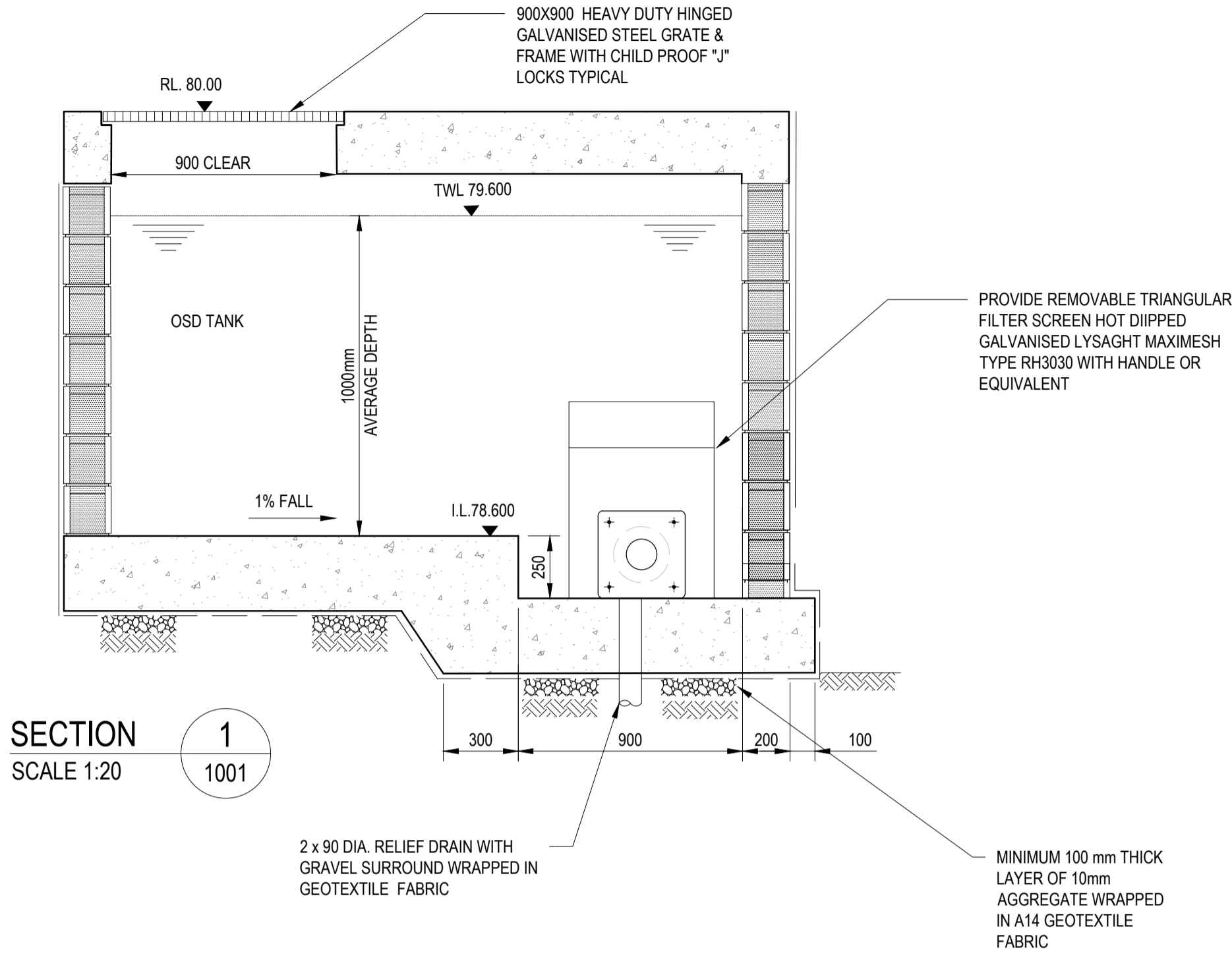
Rev.	Date	Description	Des.	Verif.	Appd.
3	12/12/2022	DRAFT DA	G.M.	C.F.	C.F.
2	30/08/2022	70% DRAFT PART 5	G.M.	C.F.	C.F.
1	20/05/2022	PRELIMINARY ISSUE	K.P.	C.F.	C.F.



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Drawn G.M. Checked K.P. Designed K.P. Verified C.F. Approved	Date APRIL 2022 Date APRIL 2022 Date APRIL 2022 Date APRIL 2022	Client SAM CRAWFORD ARCHITECT Project CAMDEN BOARDING HOUSE LOT 17/DP 219782 LOT 18/DP 219782 3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW Title STORMWATER STANDARD DETAILS SHEET 1	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES Datum AHD Scale AS SHOWN Size A1 Drawing Number 80822228-CI-0201 Revision 3
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OSD SYSTEM DESIGN PARAMETER	
SITE AREA = 1273 Sq m.	
OSD STORAGE REQUIRED FOR SITE = 30 m ³	
PSD 5 MIN 5YEAR ARI = 25 L/S	
OSD STORAGE PROVIDED = 30.0m ³	
OSD TANK DETAIL	
DEPTH OF WATER = 1.0m	
TANK AREA = 30.00 m ²	
ORIFICE DIAMETER = 109mm	

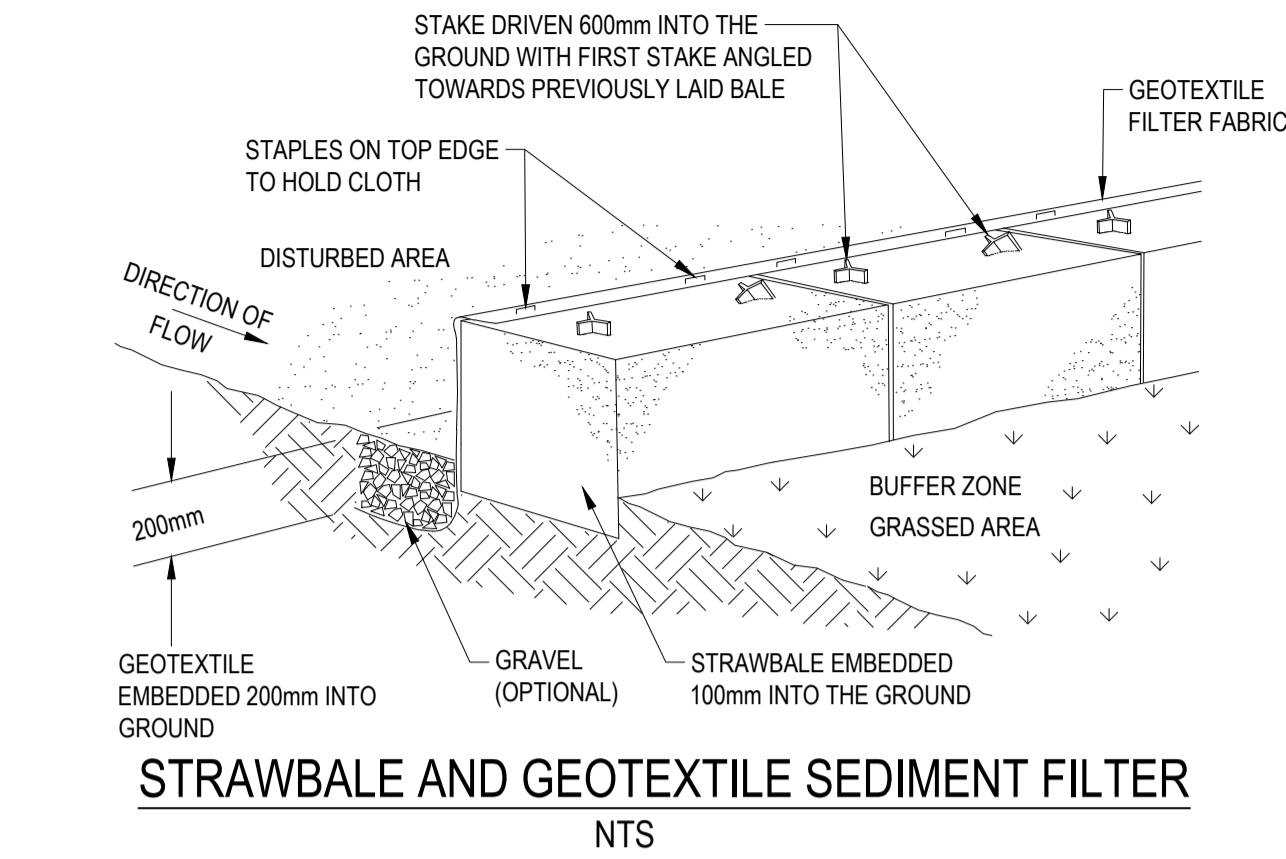
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1	30/08/2022	70% DRAFT PART 5	G.M.	C.F.	C.F.



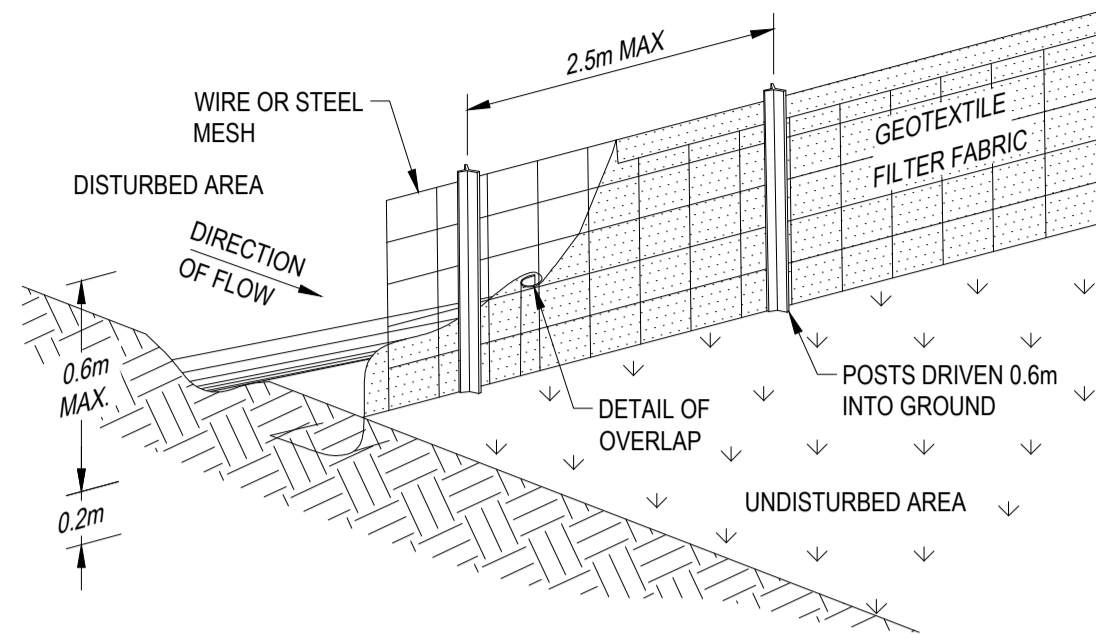
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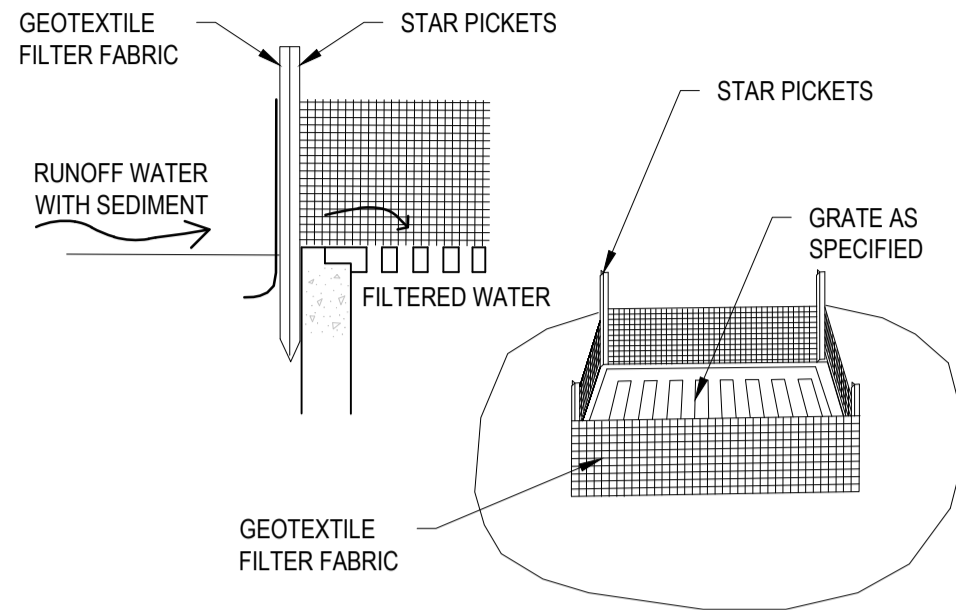
Drawn G.M.	Date APRIL 2022	Client SAM CRAWFORD ARCHITECT
Checked K.P.	Date APRIL 2022	Project CAMDEN BOARDING HOUSE
Designed K.P.	Date APRIL 2022	LOT 17/DP 219782 LOT 18/DP 219782
Verified C.F.	Date APRIL 2022	3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW
Approved		Title STORMWATER STANDARD DETAILS SHEET 2
Status NOT TO BE USED FOR CONSTRUCTION PURPOSES		Datum AHD
Scale AS SHOWN		Size A1
Drawing Number 80822228-CI-0202		Revision 2



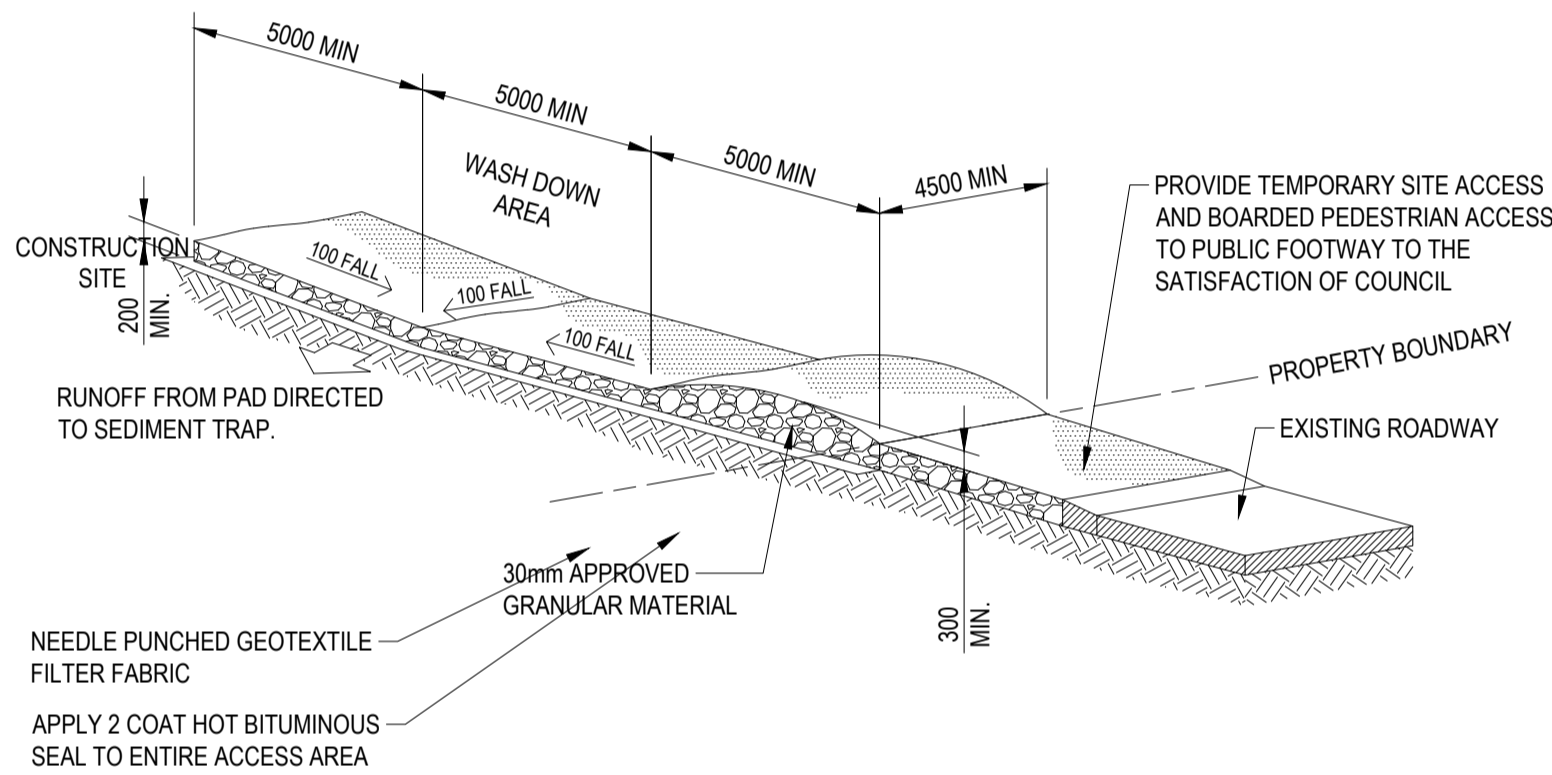
STRAWBALE AND GEOTEXTILE SEDIMENT FILTER
NTS



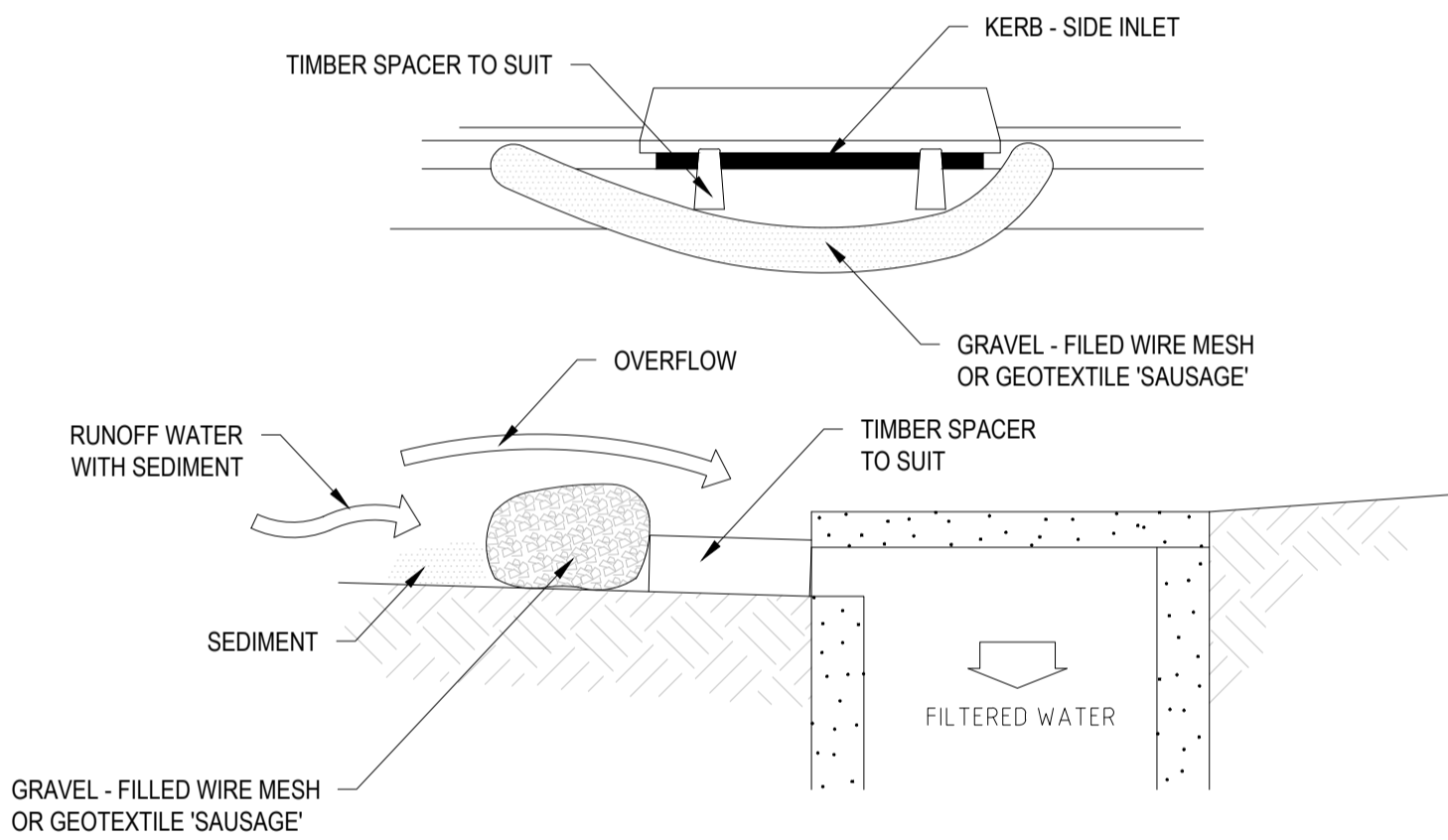
SEDIMENT FENCE
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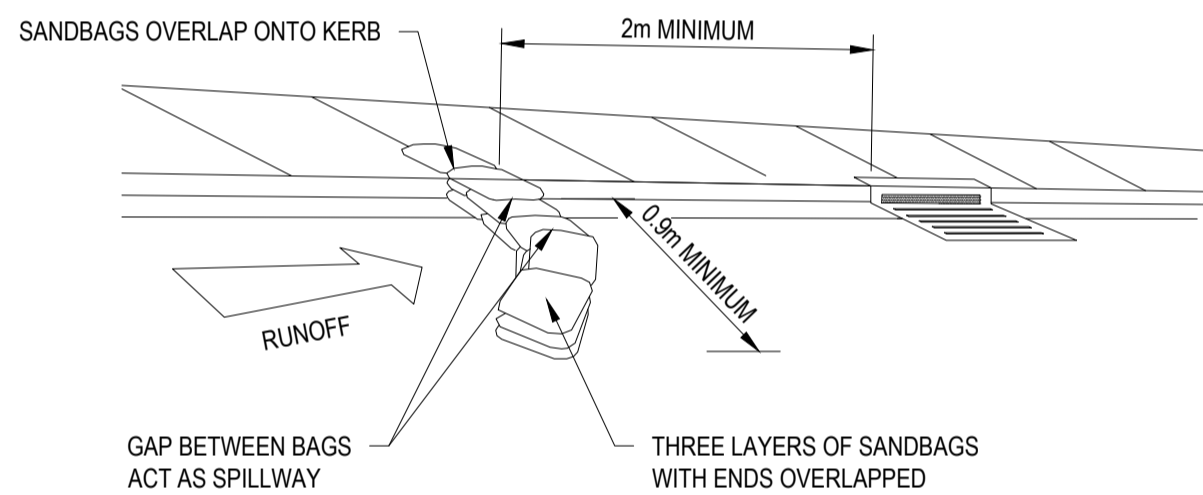
GEOTEXTILE FILTER PIT SURROUND
NTS



STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA
NTS



MESH AND GRAVEL INLET FILTER
NTS



SANDBAG SEDIMENT TRAP
FOR KERB INLET ON GRADE
NTS

Rev.	Date	Description	Des.	Verif.	Appd.
3	12/12/2022	DRAFT DA	G.M.	C.F.	C.F.
2	30/08/2022	70% DRAFT PART 5	G.M.	C.F.	C.F.
1	20/05/2022	PRELIMINARY ISSUE	K.P.	C.F.	C.F.



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Web: www.cardno.com.au

Drawn G.M.	Date APRIL 2022	Client SAM CRAWFORD ARCHITECT
Checked K.P.	Date APRIL 2022	Project CAMDEN BOARDING HOUSE
Designed K.P.	Date APRIL 2022	LOT 17/DP 219782 LOT 18/DP 219782
Verified C.F.	Date APRIL 2022	3-5 KELLOWAY AVENUE, CAMDEN, 2570 NSW
Approved		Title SEDIMENTATION AND EROSION CONTROL DETAILS
Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES		
Datum AHD	Scale AS SHOWN	Size A1
Drawing Number 80822228-CI-0221		Revision 3